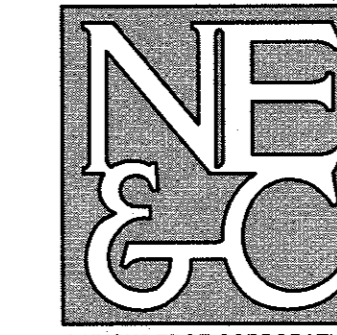


PROPOSED MINOR SUBDIVISION

**ASSESSOR'S PLAT 33 LOT 44
300 PIPPIN ORCHARD ROAD
CRANSTON, RHODE ISLAND**

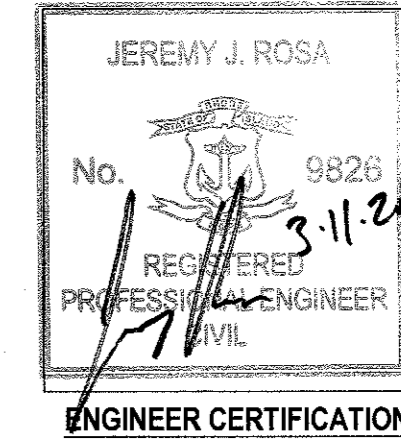
CIVIL ENGINEER:

NORTHEAST ENGINEERS
& CONSULTANTS, INC.



SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL
MATERIALS TESTING

A KNOWLEDGE CORPORATION
6 VALLEY ROAD MIDDLETOWN RI 02842
PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM



OWNER:

ADVANCED REAL ESTATE DEVELOPMENTS, LLC
C/O ROBERTO PEREYRA
300 PIPPIN ORCHARD ROAD
CRANSTON, RHODE ISLAND 02921
advancedredevelopments@gmail.com

MARCH 11, 2020 PERMIT SET

PLAN INDEX

SITE/CIVIL ENGINEERING PLANS

- TITLE SHEET
- NOTES
- EXISTING CONDITIONS
- PROPOSED SUBDIVISION PLAN
- PROPOSED GRADING, DRAINAGE AND UTILITY PLAN
- PROPOSED ROAD PROFILE
- PROPOSED SOIL EROSION AND SEDIMENT CONTROL PLAN
- PROPOSED DETAILS

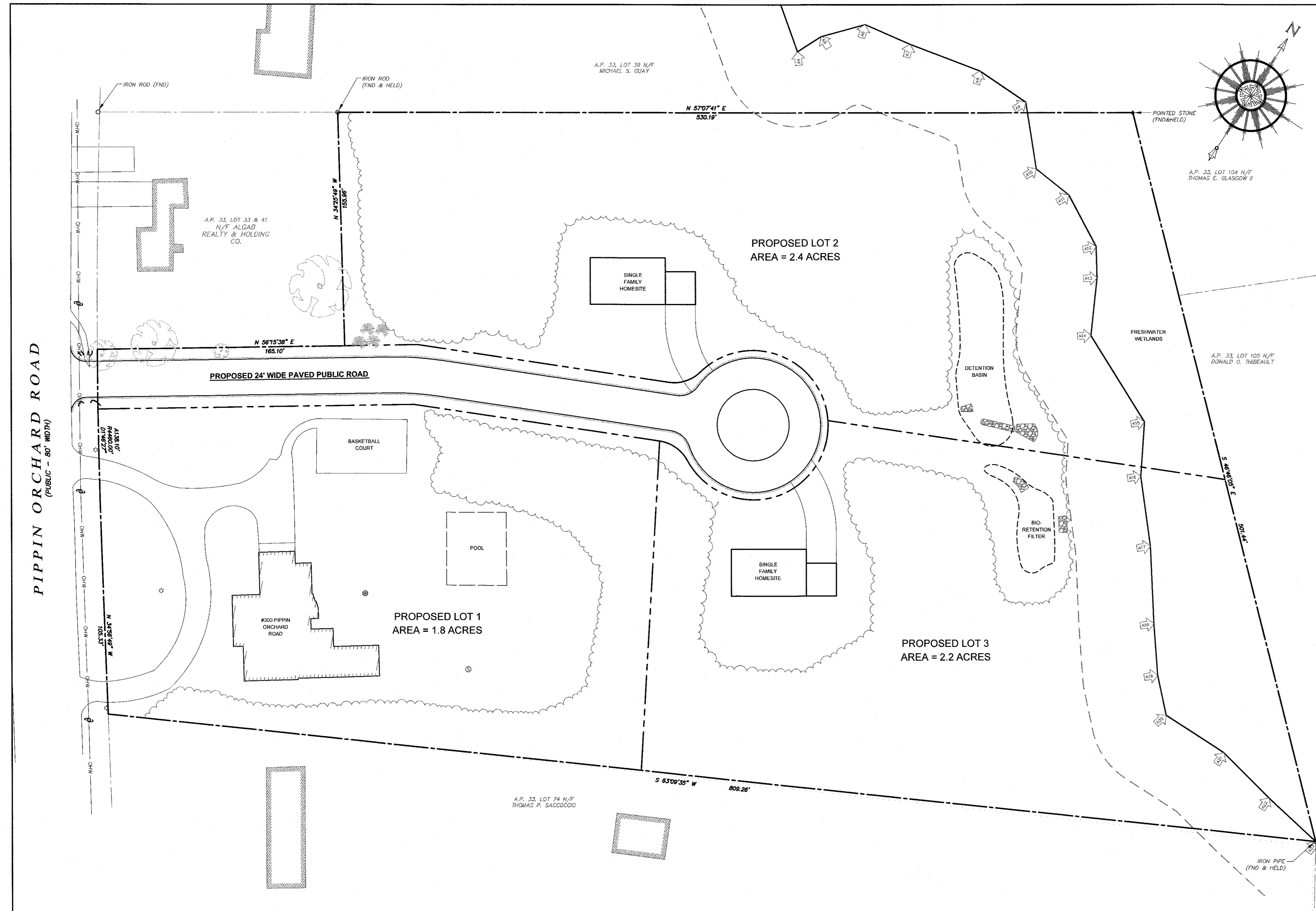
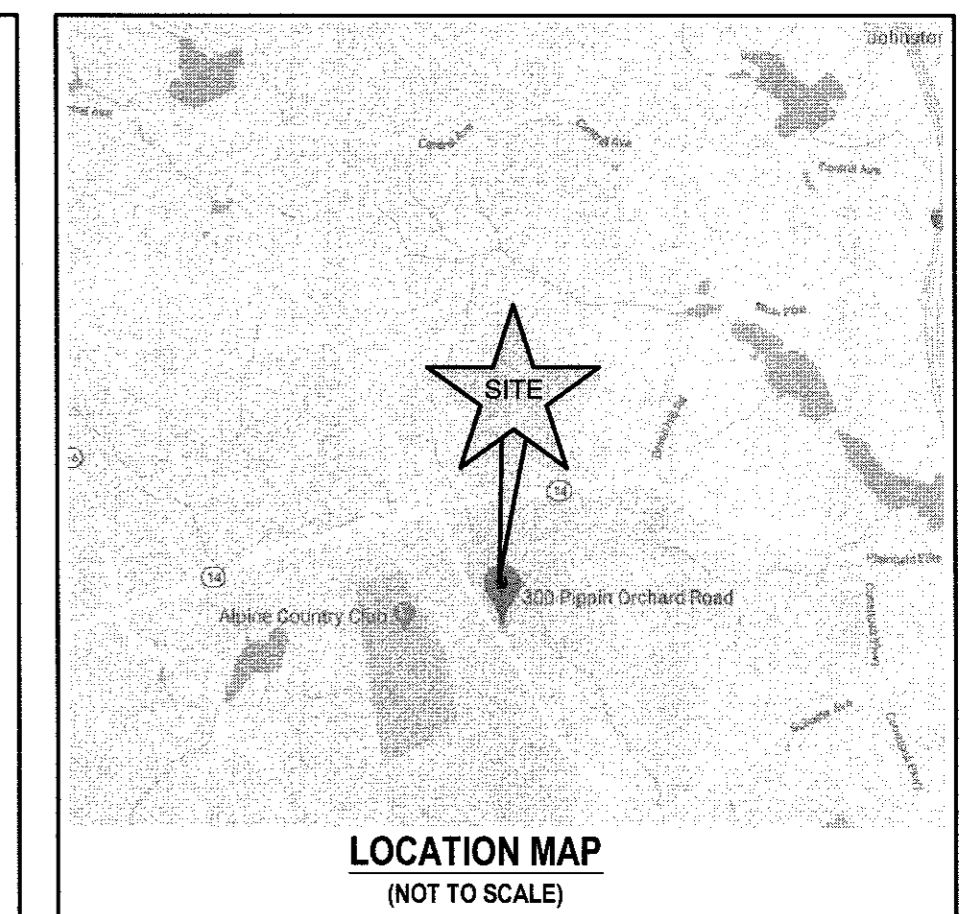
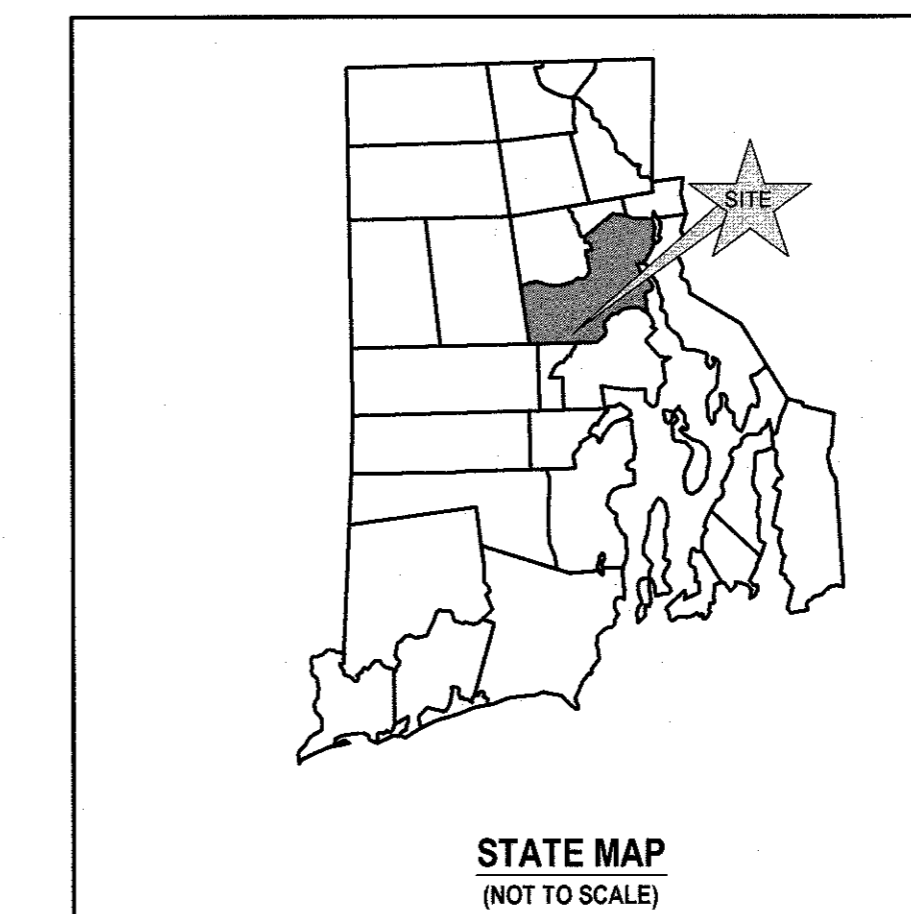
- SHEET 1
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PLANS BY OTHERS

COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY

CLASS I BOUNDARY SURVEY BY DOUGLAS DESIGN GROUP

SHEET 1



SITE PLAN

SCALE = 1"=40'

SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE:	COMMENTS:
CITY OF CRANSTON	SEPT 2019	MASTER AND PRELIMINARY SUBMISSION
RIDEM	SEPT 2019	WETLANDS APPLICATION
RIDOT	OCT 2019	PHYSICAL ALTERATION PERMIT APPLICATION
CITY OF CRANSTON	DEC 2019	MASTER AND PRELIMINARY SUBMISSION
RIDOT	DEC 2019	RESPONSE TO COMMENTS
RIDEM	FEB 2020	RESPONSE TO COMMENTS
RIDEM	MAR 2020	RESPONSE TO COMMENTS

GENERAL NOTES

- PROPERTY LINE AND EXISTING CONDITION INFORMATION TAKEN FROM PLAN ENTITLED "COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR 300 PIPPIN ORCHARD ROAD A.P. 33, LOT 44 CRANSTON, RHODE ISLAND" PREPARED BY DOUGLAS DESIGN GROUP OR PROVIDENCE, RI DATED MARCH 2, 2018.
- ELEVATIONS SHOWN ARE IN AN ASSUMED DATUM.
- PROPERTY IS ZONED A80 (RESIDENTIAL DISTRICT), ABUTTING PROPERTIES ARE ALSO ZONED A80 (RESIDENTIAL DISTRICT).
- NORTH ARROW REFERENCES PLAN INDICATED IN NOTE #1.
- SOIL EVALUATIONS PERFORMED BY NATURAL RESOURCE SERVICES, INC. ON SEPTEMBER 6, 2018. RESULTING LOCATIONS AND WATER TABLE DEPTHS ARE SHOWN ON SITE PLANS.
- SOILS ON SITE ARE CATEGORIZED AS W6a AND W6b (WOODBIDGE FINE SANDY LOAM) AND W6a (WOODBIDGE FINE SANDY LOAM) PER THE NRCS SOIL SURVEY. THESE ARE GENERALLY HYDROLOGIC TYPE C/D. THE SOIL EVALUATIONS PERFORMED ON SITE INDICATE A SOIL CATEGORY OF 8 BELOW THE TOPSOIL.
- THE ENTIRE OF DEVELOPMENT IS LOCATED WITHIN FEMA ZONE X, AREA OF MINIMAL FLOODING, AND IS NOT WITHIN THE 100 YEAR FLOOD PLAIN PER FIRM 4407C0295G, LAST REVISED 03/02/09.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
- THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
- THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
- STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE CITY OF CRANSTON.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
- THE PROPOSED DEVELOPMENT DOES NOT LIE IN ANY OF THE FOLLOWING AREAS:
 - NATURAL HERITAGE AREAS (RIDEM)
 - SPECIAL AREA MANAGEMENT PLAN (CRMC)
 - GROUNDWATER ADQUIERS, STATE DESIGNATED "GROUNDWATER RESERVOIRS", RECHARGE AREAS, OR WELLHEAD PROTECTION AREAS
 - STATE, REGIONAL OR LOCAL GREENWAYS, OR GREENSPACE PRIORITIES

GRADING NOTES

- ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
- ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- THE CITY SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
- NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE CITY OF CRANSTON, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
- THE LIMITS OF THE AREA TO BE GRADED SHALL BE FLAGGED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE CITY OF CRANSTON.
- WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
- TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN PLACE AND ESTABLISHED.
- IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

UTILITY NOTES

- THE LOCATIONS OF PROPOSED ELECTRICAL CONDUITS AND THE CONNECTION TO THE EXISTING OVERHEAD SERVICE ON PIPPIN ORCHARD ROAD ARE PRELIMINARY. FINAL DESIGN OF THE ELECTRICAL SERVICES ARE SUBJECT TO DESIGN REVIEW AND APPROVAL OF NATIONAL GRID.
- EACH PROPOSED RESIDENCE SHALL BE SERVED BY A NEW PRIVATE WELL. WELLS TO BE LOCATED AT TIME OF INDIVIDUAL LOT DESIGN.
- NEW ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.
- PROPOSED SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GUIDELINES FOR THE DESIGN OF WASTEWATER TREATMENT WORKS TR-16" BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, REVISED MAY 2016, AND THE CITY OF CRANSTON PUBLIC WORKS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
- IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTION AND HYDROTASTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.

RIDOT NOTES

- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RI STANDARD DETAILS JUNE 21, 2019 EDITION WITH ALL REVISIONS.
- ALL UTILITY WORK PROPOSED IN THE STATE RIGHT OF WAY IS SUBJECT TO A RIDOT UTILITY PERMIT. PAPA APPROVAL DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UN-SHOWN, WITHIN THE STATE ROW.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCTION SEQUENCE:

- DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE LOCATED AS SHOWN ON PLANS. CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THIS ENTRANCE.
- INSTALL SILT FENCES, SILT SACKS, CHECK DAMS AND/OR STRAW BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- REMOVE VEGETATION ONLY WHERE NECESSARY. LIMITS OF DISTURBANCE TO BE DELINEATED BY FIELD SURVEY PRIOR TO ANY CLEARING. ANY STUMPS TO BE GROUND OR DISPOSED OF OFF-SITE.
- EXCAVATE BIORETENTION FILTER AND DETENTION BASIN PER THE CONSTRUCTION GRADING PLAN AND ESTABLISH A TEMPORARY VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE CITY ENGINEER. THESE DEPRESSIONS SHALL BE USED AS TEMPORARY SEDIMENT BASINS.
- ROUGH GRADE ROADWAY.
- CONSTRUCT UTILITIES AND STORMWATER SYSTEM WITHIN RIGHT OF WAY.
- FINAL GRADE ROADWAY AND BINDER PAVEMENT COURSE.
- REMOVE SEDIMENTS FROM DRAINAGE FEATURES AND FINAL GRADE DEVICES. PLACE MEDIA LAYER, MULCH LAYER, AND INSTALL PLANTINGS IN BIORETENTION EXCAVATION.
- TOP PAVEMENT COURSE AND MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.

2. NOTES:

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- NO DRAINAGE AREA SHALL BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT. THIS AREA SHOULD BE DELINEATED IN THE FIELD PRIOR TO CONSTRUCTION.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
- ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
- FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
- ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
- REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.

3. VEGETATIVE PRACTICE:

- PERMANENT MEASURES:
- SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
 - LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L.01 & L.02.
 - A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.
- TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)
- LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10): 600 LBS/ACRE
 - SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 100 LBS/ACRE
STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

4. MAINTENANCE

- DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.
- AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
 - SILT SACKS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. DURING HEAVY RAIN EVENTS, IT MAY BE NECESSARY TO TEMPORARILY REMOVE SACKS IN ORDER TO PREVENT FLOODING. SEDIMENT TRAPPED WITHIN SACKS SHALL BE DISPOSED OF OFF SITE AT A LICENSED FACILITY OR REGRADED ON THE SITE.
 - STONE APRONS SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND REESTABLISHED AS NECESSARY.
 - SEEDED AREAS WILL BE FERTILIZED AND RESEEDDED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE CITY ENGINEER.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

- CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

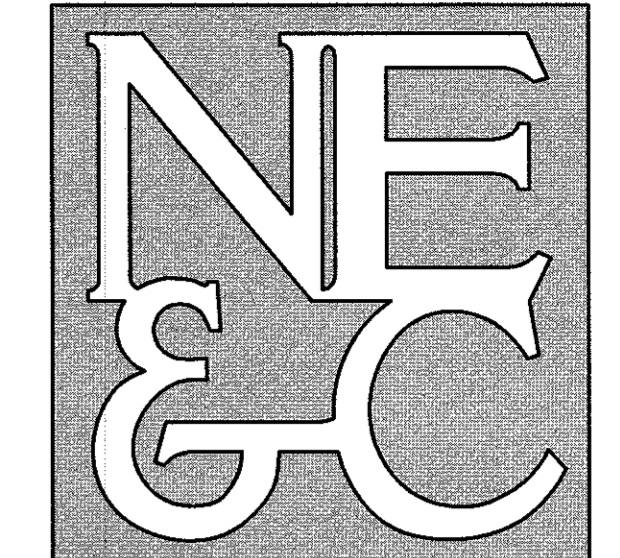
ZONING: A-80 DISTRICT

A-80 ZONE (STANDARD SUBDIVISION)	
MINIMUM LOT AREA	80,000 SQ. FT.
MINIMUM LOT WIDTH	200 FT.
MINIMUM SETBACKS	
FRONT LINE	40 FT.
SIDE LINE	20 FT.
REAR LINE	100 FT.
MAXIMUM LOT COVERAGE	10%
MAXIMUM BUILDING HEIGHT	35 FT.

STORMWATER MAINTENANCE NOTES

- SAND FILTER MAINTENANCE:
 - GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE SAND FILTER IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
 - THE SAND FILTER SHOULD BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEMS ARE FUNCTIONING PROPERLY. THEREAFTER, THE FILTER SHOULD BE INSPECTED AT LEAST ANNUALLY AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.8 INCHES). SEDIMENTS COLLECTED WITHIN THE TOP STRATA OF THE FILTER SHALL BE REMOVED ON AN ANNUAL BASIS AND STOCKPILED ON-SITE. THESE SEDIMENTS SHALL BE USED FOR GRADING ERODED AREAS ON-SITE, OR SHALL BE DISPOSED OF AT A LICENSED OFF-SITE FACILITY IF NOT NEEDED.
 - THE FOLLOWING SHALL ALSO BE COMPLETED ON AN ANNUAL BASIS:
 - THE SLOPES OF THE FILTER SHOULD BE INSPECTED FOR EROSION AND GULLYING.
 - REINFORCE ANY EXISTING RIPRAP IF IT IS FOUND TO BE DEFICIENT, EROSION IS PRESENT AT THE OUTLET STRUCTURES, OR ANY EXISTING RIPRAP HAS BEEN COMPROMISED.
 - ANY AREAS WITHIN THE EXTENTS OF THE FILTER THAT ARE SUBJECT TO EROSION OR GULLYING SHALL BE REPLISHED WITH THE ORIGINAL DESIGN MATERIAL AND RE-VEGETATED ACCORDING TO DESIGN DRAWINGS. SLOPE PROTECTION MATERIAL SHALL BE PLACED IN AREAS PRONE TO EROSION. EMBANKMENT STABILITY SHOULD BE INSPECTED FOR SEEPAGE AND BURROWING ANIMALS.
 - MOW THE GRASS AROUND THE PERIMETER OF THE FILTER, SEED BARE AREAS, AND REMOVE LITTER AND DEBRIS AT LEAST THREE TIMES PER GROWING SEASON. REMOVE ANY INVASIVE VEGETATION WITHIN THE EXTENTS OF THE FILTER. ANY INVASIVE VEGETATION ENCROACHING UPON THE PERIMETER OF THE FILTER SHOULD BE PRUNED OR REMOVED IF IT IS PROHIBITING ACCESS TO THE FILTERS, COMPROMISING SIGHT VISIBILITY, AND/OR COMPROMISING THE ORIGINAL DESIGN INTENT.
 - SILT/SEDIMENT SHOULD BE REMOVED FROM THE FILTER BED ANNUALLY, WHEN ACCUMULATION EXCEEDS 1 INCH, OR WHEN THE FILTERING CAPACITY DIMINISHES SUBSTANTIALLY.
 - THE FOLLOWING SHALL ALSO BE COMPLETED ON A BIENNIAL BASIS (EVERY TWO YEARS):
 - IF AT LEAST 50 PERCENT GRASS COVERAGE IS NOT ESTABLISHED AFTER TWO YEARS, A REINFORCEMENT SEEDING SHALL BE PERFORMED.
 - IF THE SURFACE OF THE SAND FILTER BECOMES CLOGGED TO THE POINT THAT THE STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE SURFACE SHALL BE ROTO-TILLED OR CULTIVATED TO BREAK UP ANY HARD-PACKED SEDIMENT AND THEN RE-SEEDDED.
- RIPRAP SPILLWAY MAINTENANCE:
 - A SPILLWAY SHOULD BE INSPECTED ANNUALLY FOR EROSION AND DETERIORATION. RIPRAP SHOULD BE REPLACED IN KIND AS NECESSARY TO COMPLETELY COVER THE SPILLWAY IN THE DIMENSIONS DESIGNATED IN THE ORIGINAL DESIGN DOCUMENTS. SHOULD EXCESSIVE STONE WASHOUT BE OBSERVED, A REGISTERED PROFESSIONAL ENGINEER SHOULD BE CONSULTED.
- MAINTENANCE OF THE CONVEYANCE SYSTEM IN THE STREET SHALL BE THE RESPONSIBILITY OF THE CITY OF CRANSTON.
- MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- UPON COMPLETION OF THE CONSTRUCTION THE MAINTENANCE OF THE STORMWATER SYSTEM NOT WITHIN THE ROADWAY SHALL BECOME THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

NORTHEAST ENGINEERS & CONSULTANTS, INC.

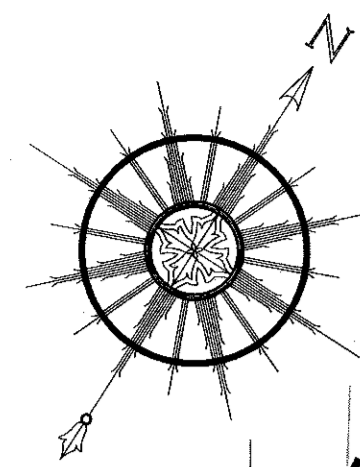


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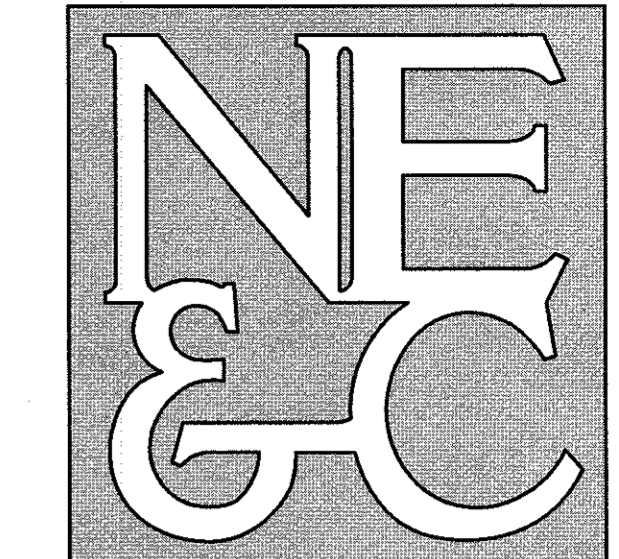
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WWW.NORTHEASTENGINEERS.COM

SITE/CIVIL
LAND PLANNING
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GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL

3	RIDEM COMMENTS	10FEB20	
2	RIDOT COMMENTS	26DEC19	
1	REVISED SUBDIVISION	16DEC19	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	N/A	Date:	12SEP19
Project Title:			
A.P. 33 LOT 44 300 PIPPIN ORCHARD ROAD CRANSTON, RHODE ISLAND			
Client/Owner:			
ADVANCED REAL ESTATE DEVELOPMENTS, LLC 200 BALD HILL ROAD WARWICK, RI 02886			
Issued for:			
PERMITTING			
Drawing Title:			
NOTES			
Drawing Number:		C-2	
Sheet		2 of 9	
Project Number:		17121.0	
Survey Index:		-	
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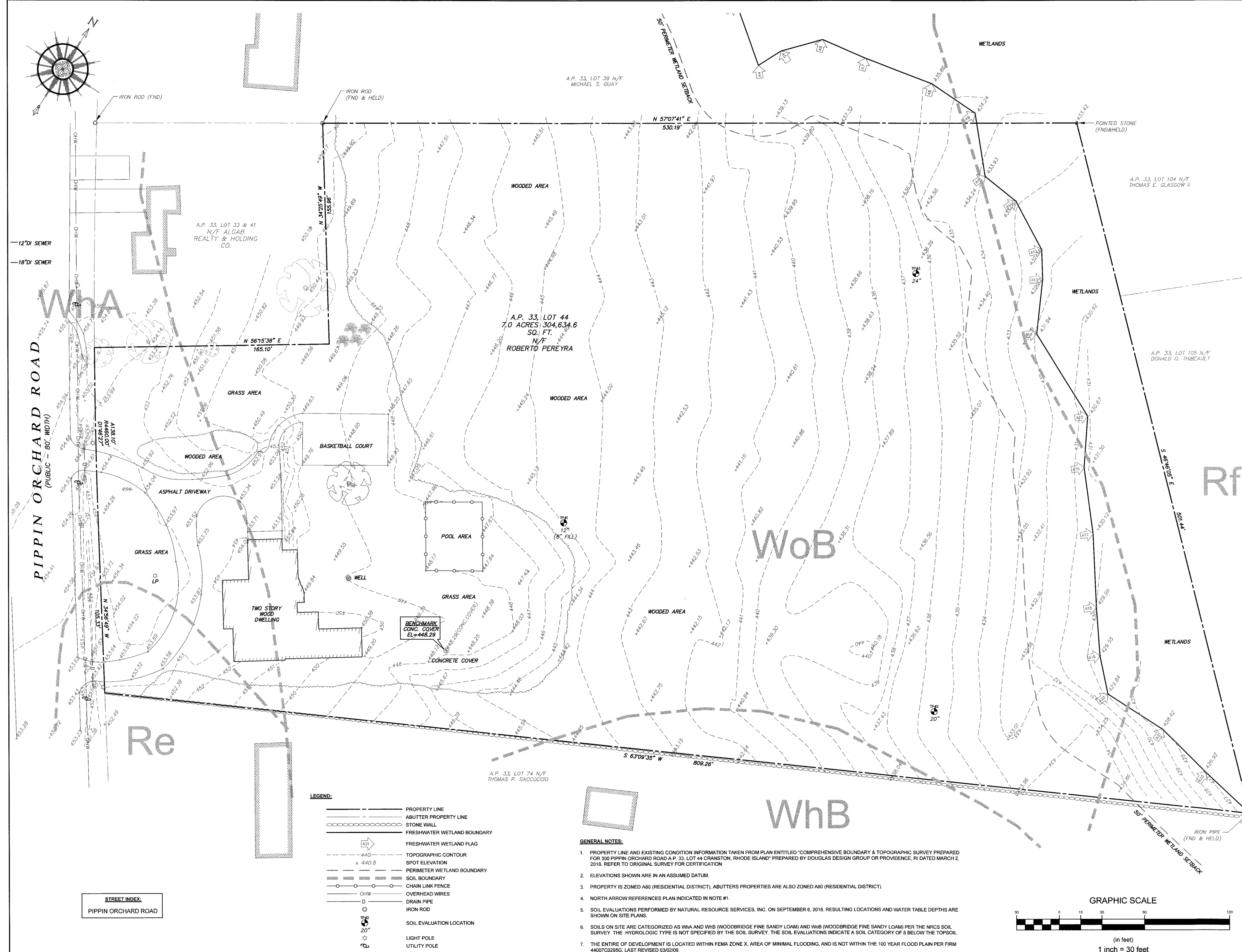
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SITE/CIVIL
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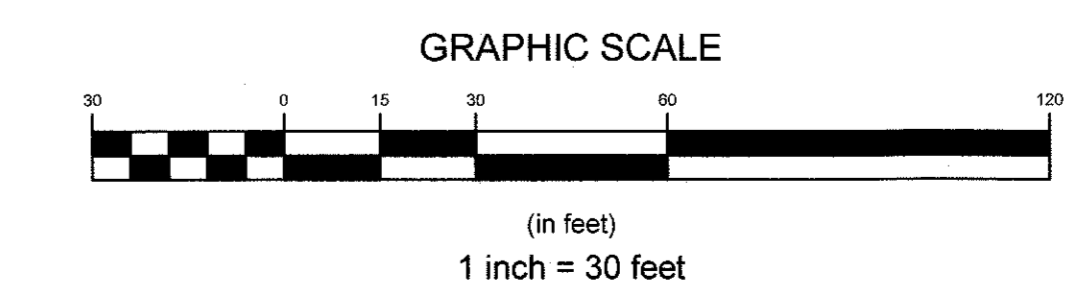
6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
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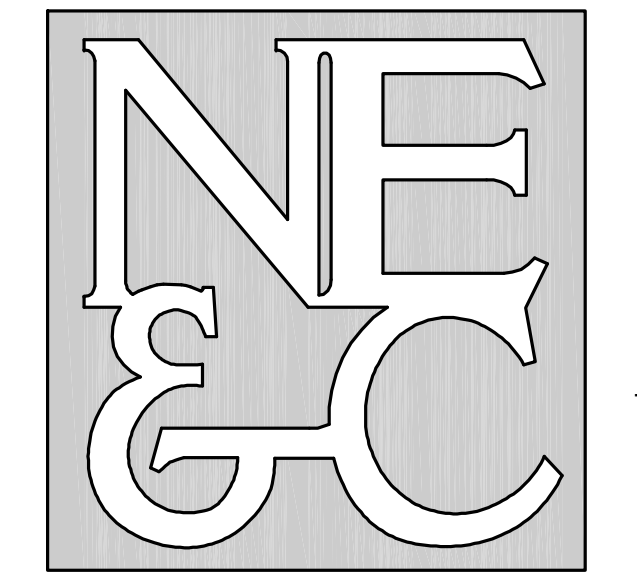
LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	STONE WALL
	FRESHWATER WETLAND BOUNDARY
	FRESHWATER WETLAND FLAG
	TOPOGRAPHIC CONTOUR
	SPOT ELEVATION
	PERIMETER WETLAND BOUNDARY
	SOIL BOUNDARY
	CHAIN LINK FENCE
	OVERHEAD WIRES
	DRAIN PIPE
	IRON ROD
	SOIL EVALUATION LOCATION
	LIGHT POLE
	UTILITY POLE

- GENERAL NOTES:**
- PROPERTY LINE AND EXISTING CONDITION INFORMATION TAKEN FROM PLAN ENTITLED "COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR 300 PIPPIN ORCHARD ROAD A.P. 33, LOT 44 CRANSTON, RHODE ISLAND" PREPARED BY DOUGLAS DESIGN GROUP OR PROVIDENCE, RI DATED MARCH 2, 2018. REFER TO ORIGINAL SURVEY FOR CERTIFICATION.
 - ELEVATIONS SHOWN ARE IN AN ASSUMED DATUM.
 - PROPERTY IS ZONED A80 (RESIDENTIAL DISTRICT), ABUTTERS PROPERTIES ARE ALSO ZONED A80 (RESIDENTIAL DISTRICT).
 - NORTH ARROW REFERENCES PLAN INDICATED IN NOTE #1.
 - SOIL EVALUATIONS PERFORMED BY NATURAL RESOURCE SERVICES, INC. ON SEPTEMBER 6, 2018. RESULTING LOCATIONS AND WATER TABLE DEPTHS ARE SHOWN ON SITE PLANS.
 - SOILS ON SITE ARE CATEGORIZED AS WhA AND WhB (WOODBIDGE FINE SANDY LOAM) AND WoB (WOODBIDGE FINE SANDY LOAM) PER THE NRCS SOIL SURVEY. THE HYDROLOGIC TYPE IS NOT SPECIFIED BY THE SOIL SURVEY. THE SOIL EVALUATIONS INDICATE A SOIL CATEGORY OF 8 BELOW THE TOPSOIL.
 - THE ENTIRE OF DEVELOPMENT IS LOCATED WITHIN FEMA ZONE X, AREA OF MINIMAL FLOODING, AND IS NOT WITHIN THE 100 YEAR FLOOD PLAIN PER FIRM 44007C0295G, LAST REVISED 03/02/09.



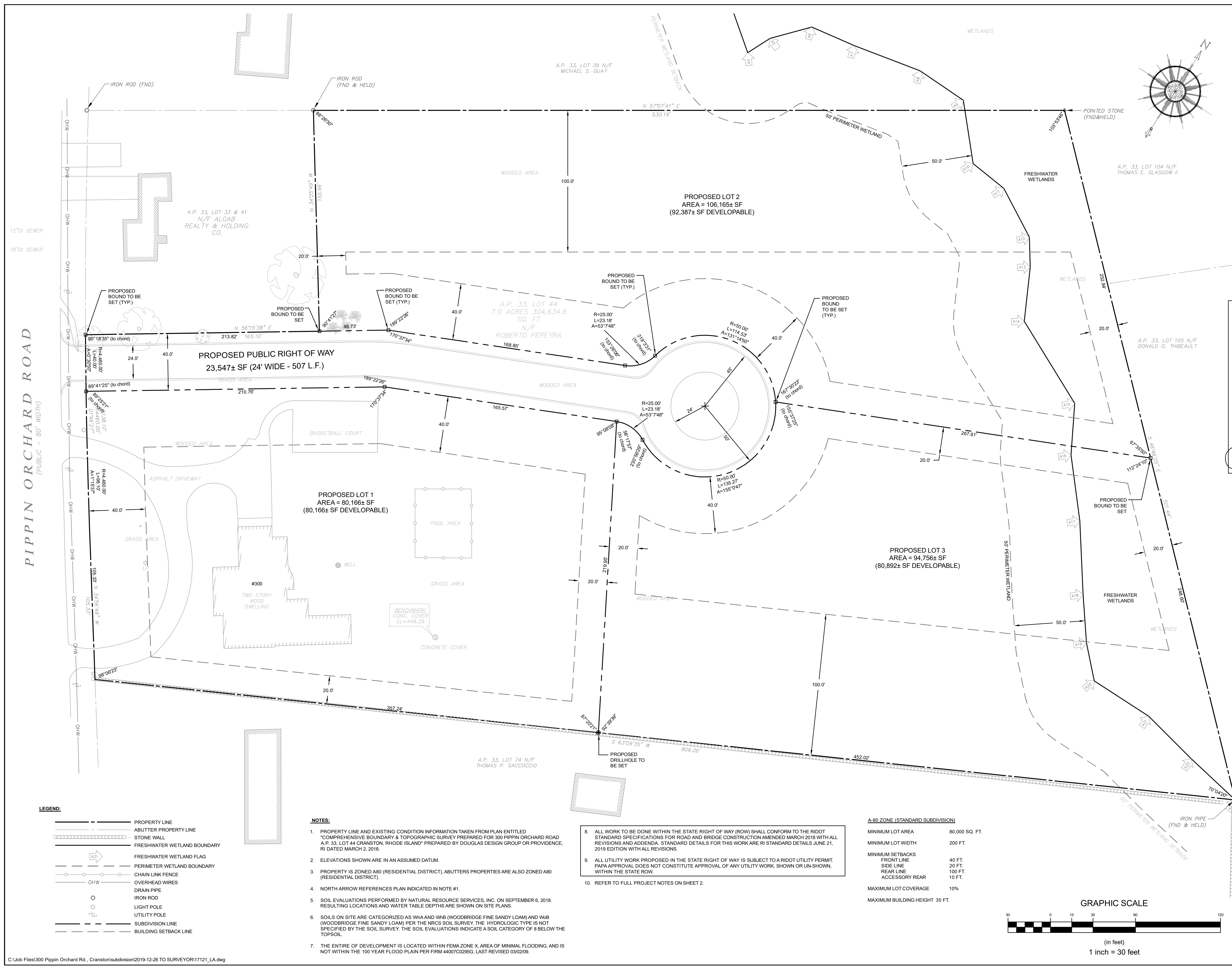
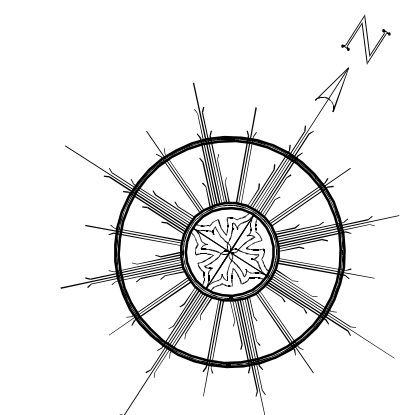
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=30'	Date:	12SEP19
Project Title: A.P. 33 LOT 44 300 PIPPIN ORCHARD ROAD CRANSTON, RHODE ISLAND			
Client/Owner: ADVANCED REAL ESTATE DEVELOPMENTS, LLC 200 BALD HILL ROAD WARWICK, RI 02886			
Issued for: PERMITTING			
Drawing Title: EXISTING CONDITIONS PLAN			
Drawing Number: C-3		Sheet 3 of 9	
Project Number: 17121.0		Survey Index:	
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- TRANSPORTATION
- STRUCTURAL



CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY COMPREHENSIVE BOUNDARY SURVEY

MEASUREMENT/ACCURACY SPECIFICATIONS

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: SUBDIVISION OF AN EXISTING PARCEL INTO THREE RESIDENTIAL LOTS AND A PUBLIC RIGHT OF WAY.

JOHN D. ANDREWS
No. 1836
PROFESSIONAL LAND SURVEYOR

BY: *John D. Andrews* 1836 12/12/2019
JOHN D. ANDREWS, P.L.S. REG. NO. DATE
DOUGLAS DESIGN GROUP (LS.000A354.COA)

3	RIDOT COMMENTS	26DEC19	
2	REVISED ROW WIDTH AND ADJUSTED LOTS	07NOV19	
1	ADDED DEVELOPABLE AREAS	05NOV19	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=30'	Date:	08AUG19

Project Title:
A.P. 33 LOT 44
300 PIPPIN ORCHARD ROAD
CRANSTON, RHODE ISLAND

Client/Owner:
ADVANCED REAL ESTATE DEVELOPMENTS, LLC
200 BALD HILL ROAD
WARWICK, RI 02886

Issued for:
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Drawing Title:
PROPOSED SUBDIVISION

Drawing Number:	C-4
Sheet	4 of 9
Project Number:	17121.0
Survey Index:	-

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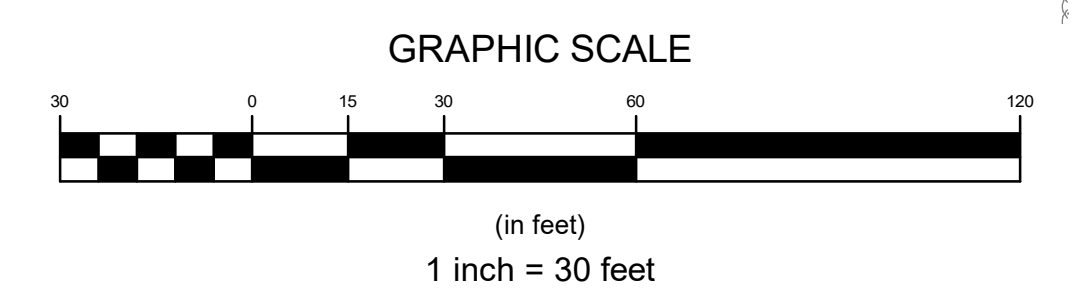
- LEGEND:**
- PROPERTY LINE
 - ABUTTER PROPERTY LINE
 - STONE WALL
 - FRESHWATER WETLAND BOUNDARY
 - FRESHWATER WETLAND FLAG
 - PERIMETER WETLAND BOUNDARY
 - CHAIN LINK FENCE
 - OVERHEAD WIRES
 - DRAIN PIPE
 - IRON ROD
 - LIGHT POLE
 - UTILITY POLE
 - SUBDIVISION LINE
 - BUILDING SETBACK LINE

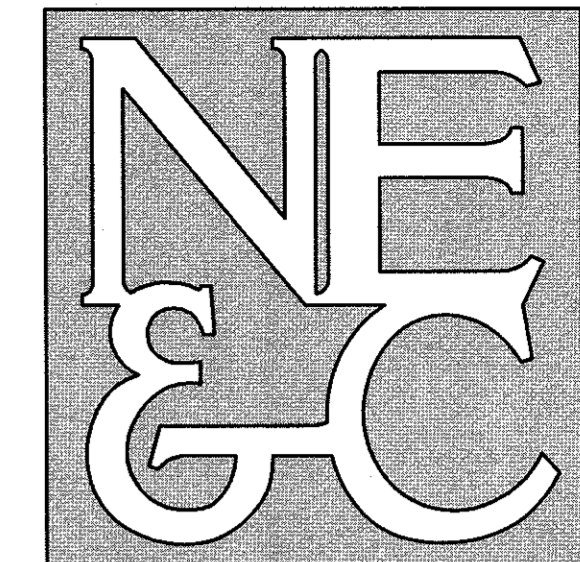
- NOTES:**
- PROPERTY LINE AND EXISTING CONDITION INFORMATION TAKEN FROM PLAN ENTITLED "COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR 300 PIPPIN ORCHARD ROAD A.P. 33, LOT 44 CRANSTON, RHODE ISLAND" PREPARED BY DOUGLAS DESIGN GROUP OR PROVIDENCE, RI DATED MARCH 2, 2018.
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- ALL UTILITY WORK PROPOSED IN THE STATE RIGHT OF WAY IS SUBJECT TO A RIDOT UTILITY PERMIT. PAPA APPROVAL DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UN-SHOWN, WITHIN THE STATE ROW.
- REFER TO FULL PROJECT NOTES ON SHEET 2.

A-80 ZONE (STANDARD SUBDIVISION)

MINIMUM LOT AREA	80,000 SQ. FT.
MINIMUM LOT WIDTH	200 FT.
MINIMUM SETBACKS	
FRONT LINE	40 FT.
SIDE LINE	20 FT.
REAR LINE	100 FT.
ACCESSORY REAR	10 FT.
MAXIMUM LOT COVERAGE	10%
MAXIMUM BUILDING HEIGHT	35 FT.

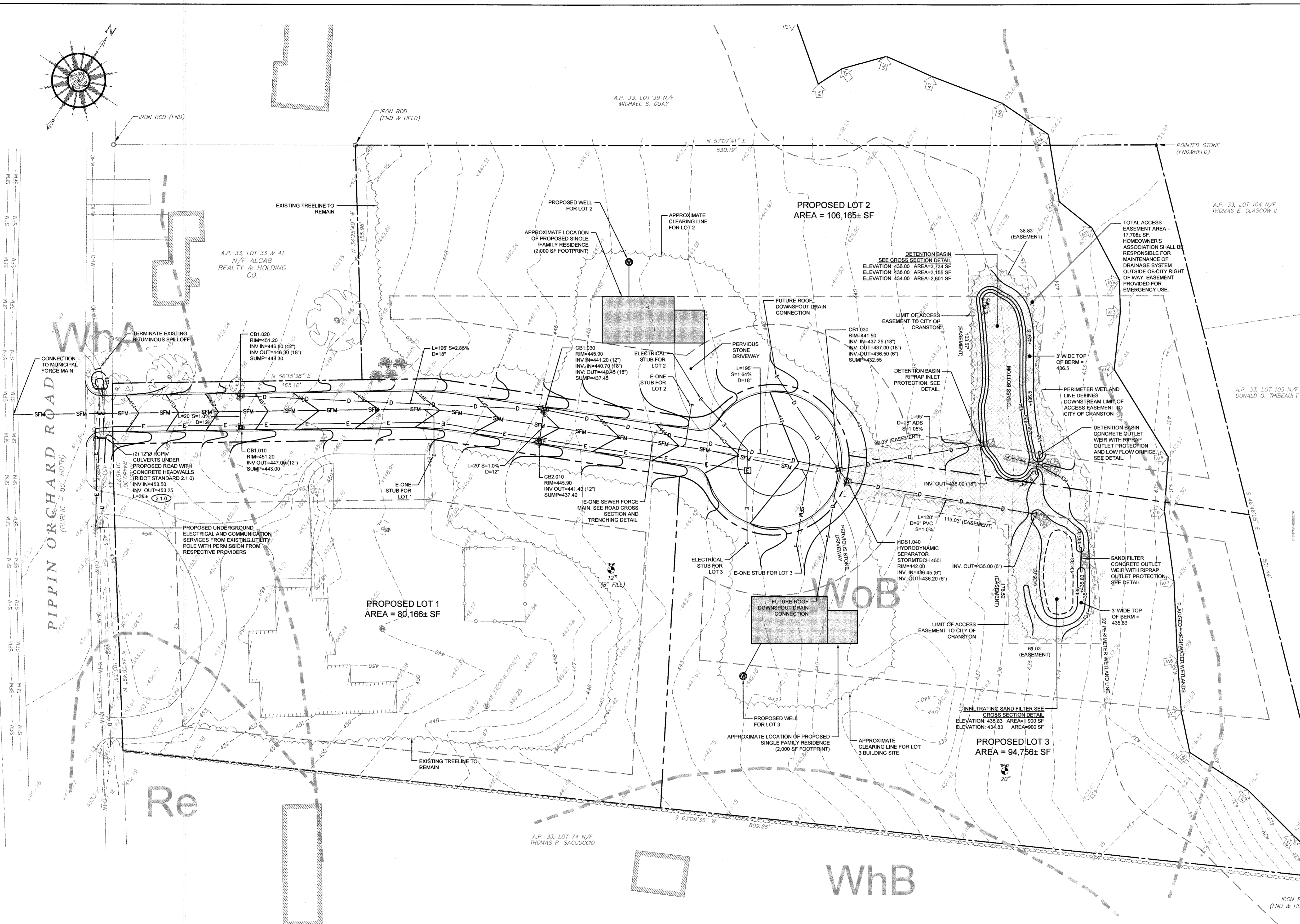
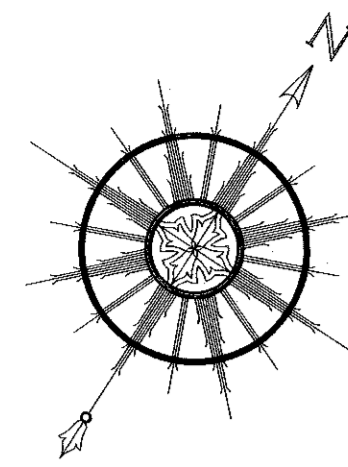




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5	TOWN COMMENTS	26MAY20	
4	RIDEM COMMENTS	11MAR20	
3	RIDEM COMMENTS	10FEB20	
2	RIDOT COMMENTS	26DEC19	
1	REVISED SUBDIVISION	16DEC19	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=30'	Date:	12SEP19

Project Title:
A.P. 33 LOT 44
300 PIPPIN ORCHARD ROAD
CRANSTON, RHODE ISLAND

Client/Owner:
ADVANCED REAL ESTATE DEVELOPMENTS, LLC
200 BALD HILL ROAD
WARWICK, RI 02886

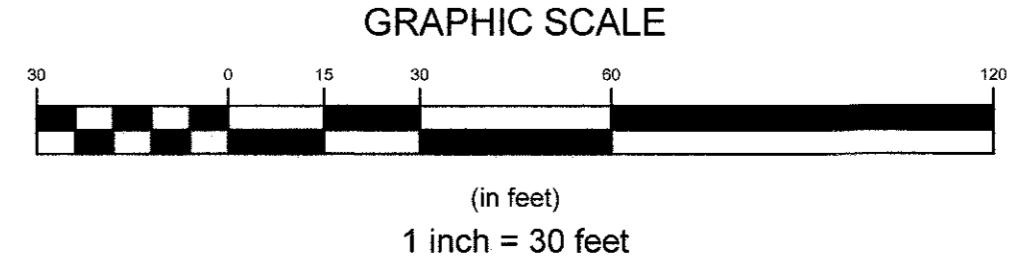
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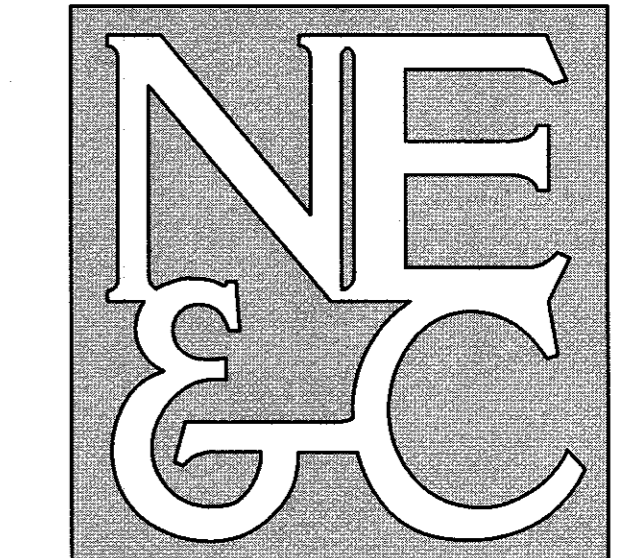
Drawing Title:
PROPOSED DEVELOPMENT PLAN

Drawing Number: **C-5**
Sheet **5** of **9**
Project Number: **17121.0**
Survey Index: -

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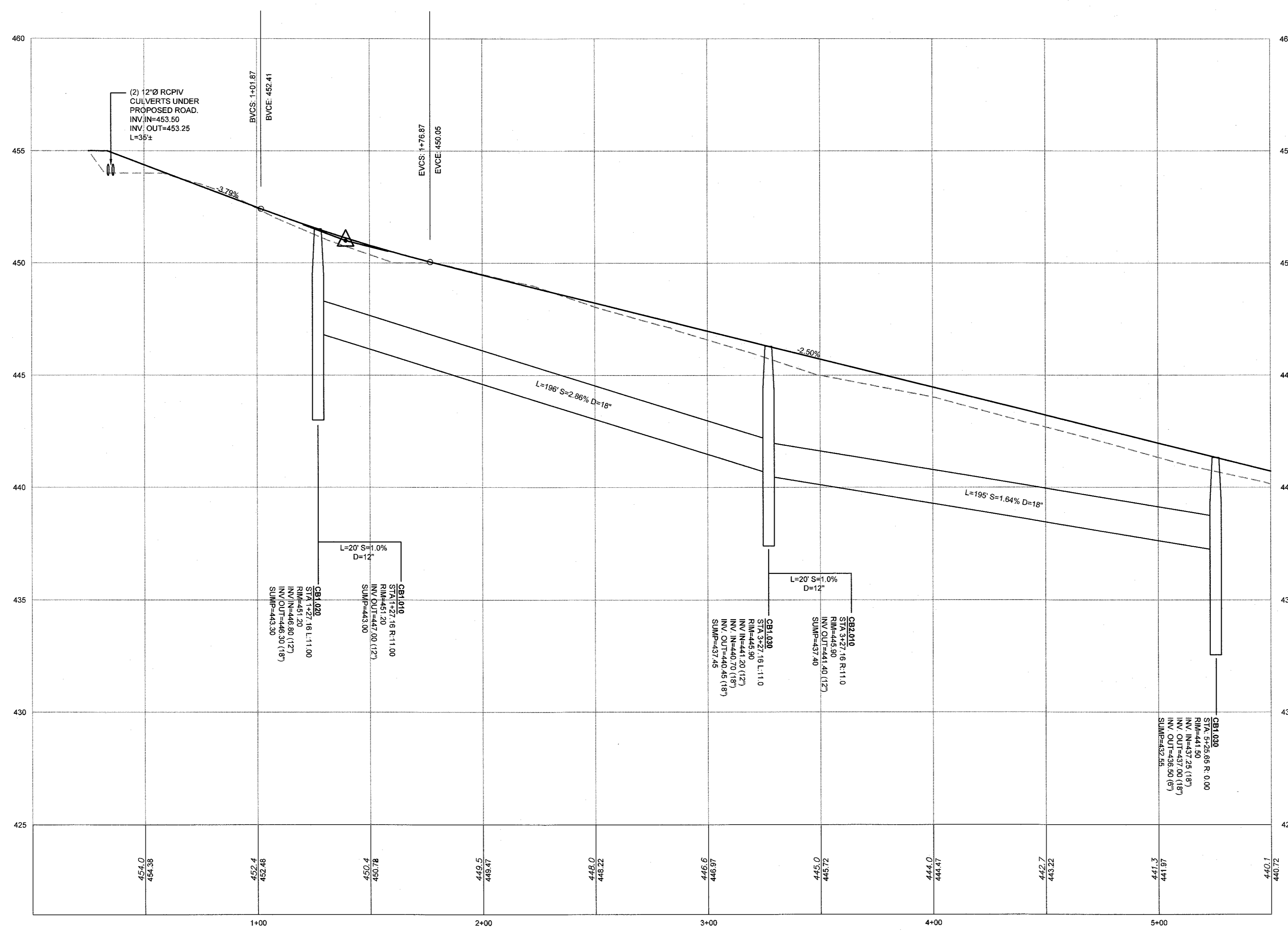
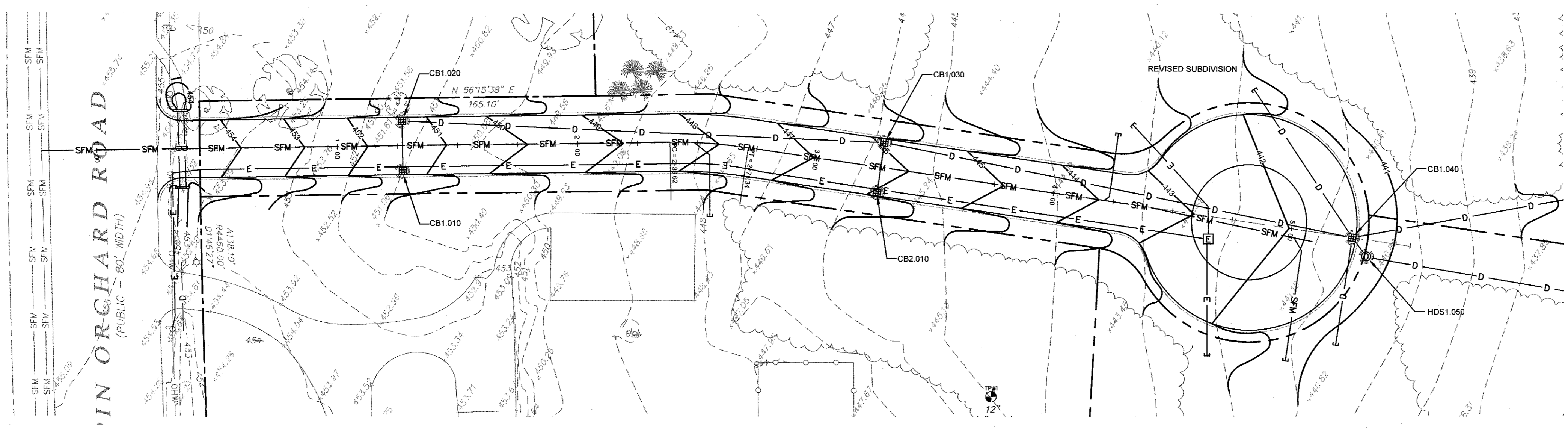
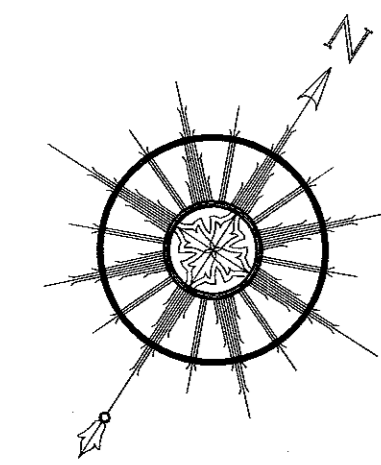
- NOTES:**
- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RI STANDARD DETAILS JUNE 21, 2019 EDITION WITH ALL REVISIONS.
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 - REFER TO FULL PROJECT NOTES ON SHEET 2.



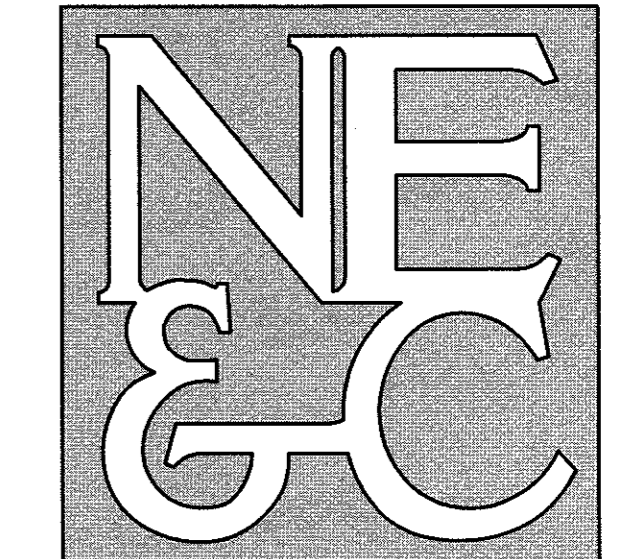


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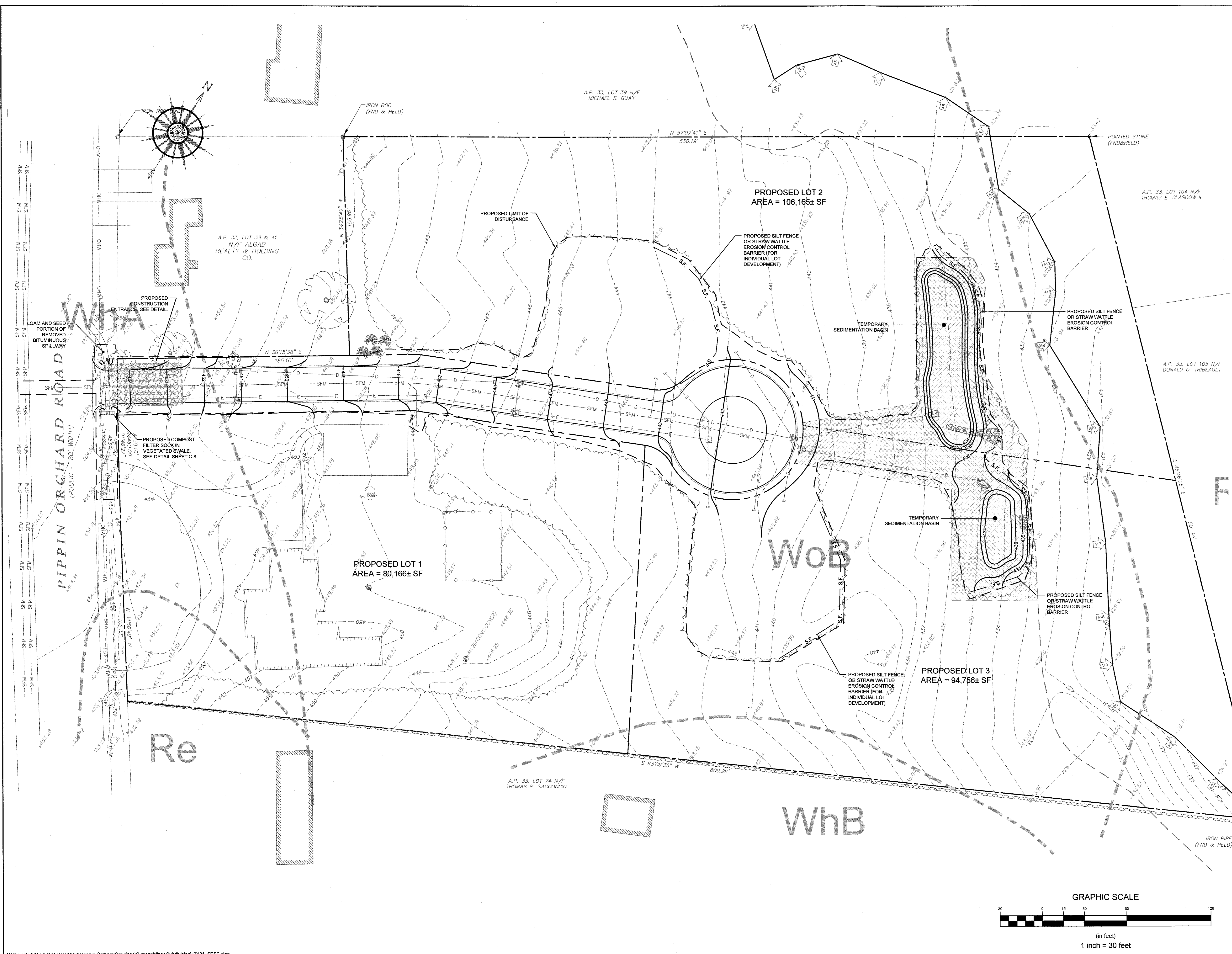


2	RIDEM COMMENTS	10FEB20	
1	REVISED SUBDIVISION	16DEC19	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=30'	Date:	12SEP19
Project Title:			
A.P. 33 LOT 44 300 PIPPIN ORCHARD ROAD CRANSTON, RHODE ISLAND			
Client/Owner:			
ADVANCED REAL ESTATE DEVELOPMENTS, LLC 200 BALD HILL ROAD WARWICK, RI 02886			
Issued for:			
PERMITTING			
Drawing Title:			
PROFILE DEVELOPMENT PLAN			
Drawing Number:		C-6	
Sheet		6 of 9	
Project Number:		17121.0	
Survey Index:			
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3	RIDOT COMMENTS	08JAN20	
2	RIDOT COMMENTS	26DEC19	
1	REVISED SUBDIVISION	04DEC19	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=30'	Date:	12SEP19

Project Title:
A.P. 33 LOT 44
300 PIPPIN ORCHARD ROAD
CRANSTON, RHODE ISLAND

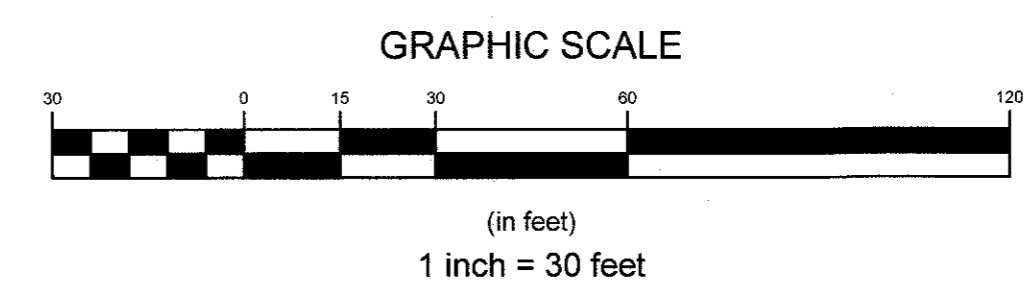
Client/Owner:
ADVANCED REAL ESTATE DEVELOPMENTS, LLC
200 BALD HILL ROAD
WARWICK, RI 02886

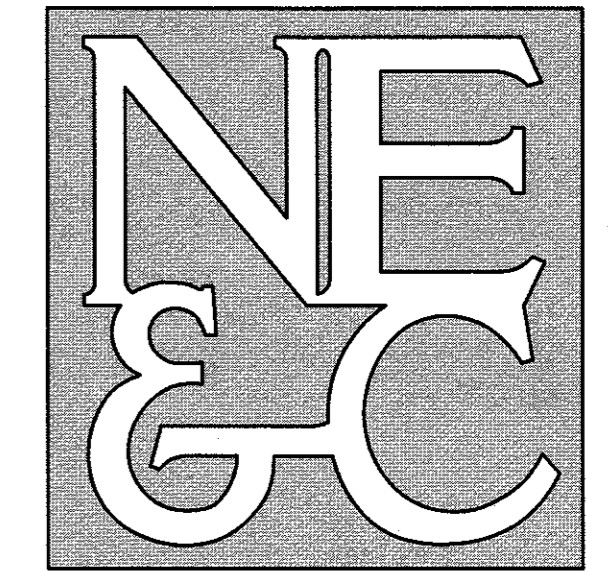
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Drawing Title:
SOIL EROSION AND SEDIMENT CONTROL PLAN

	Drawing Number:	C-7
	Sheet	7 of 9
	Project Number:	17121.0
	Survey Index:	

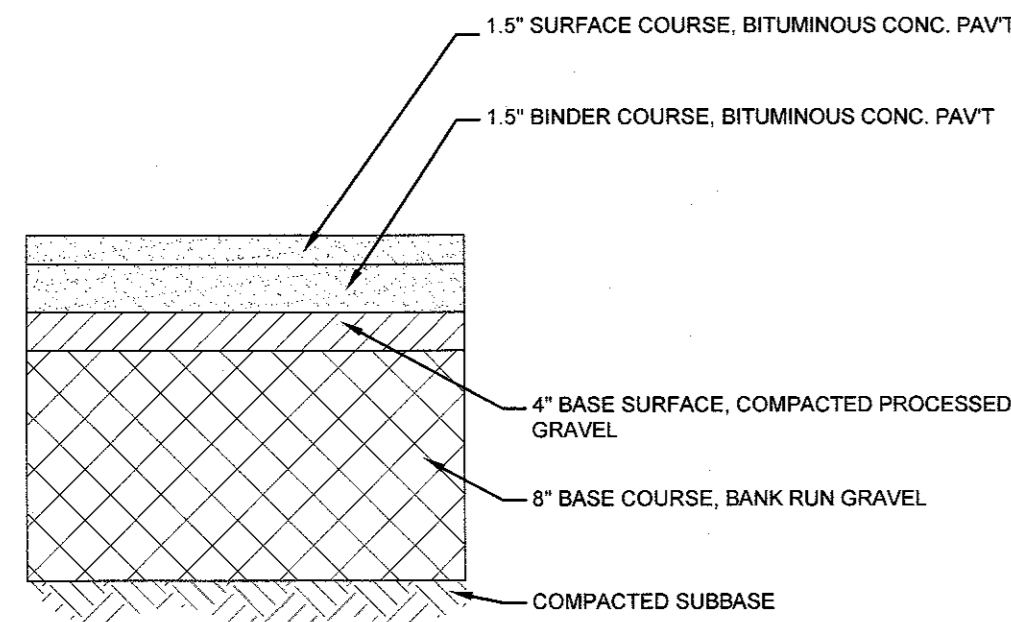
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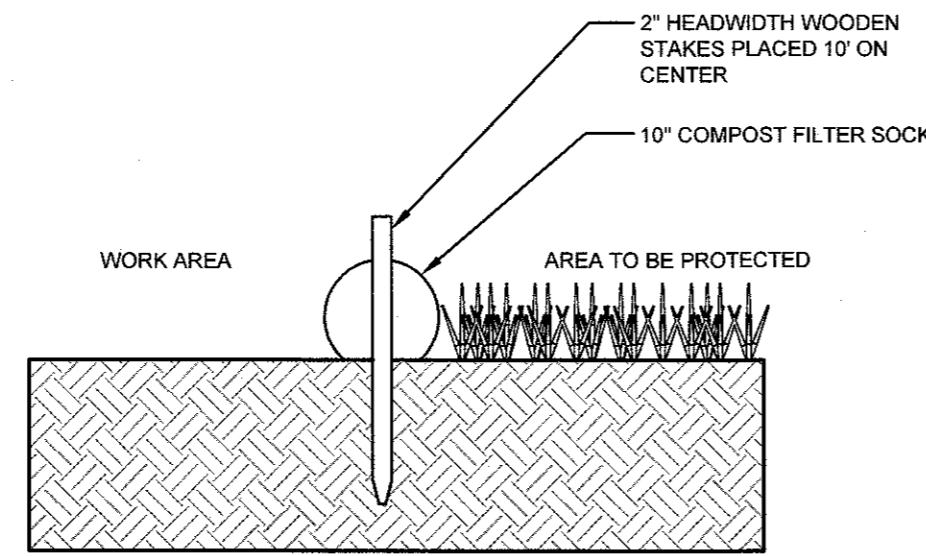


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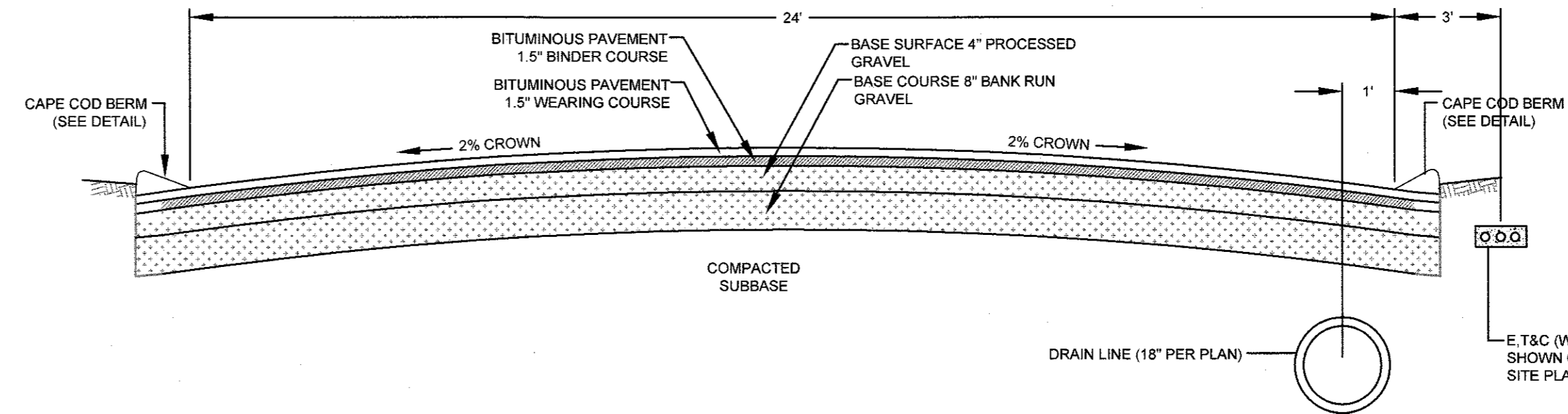
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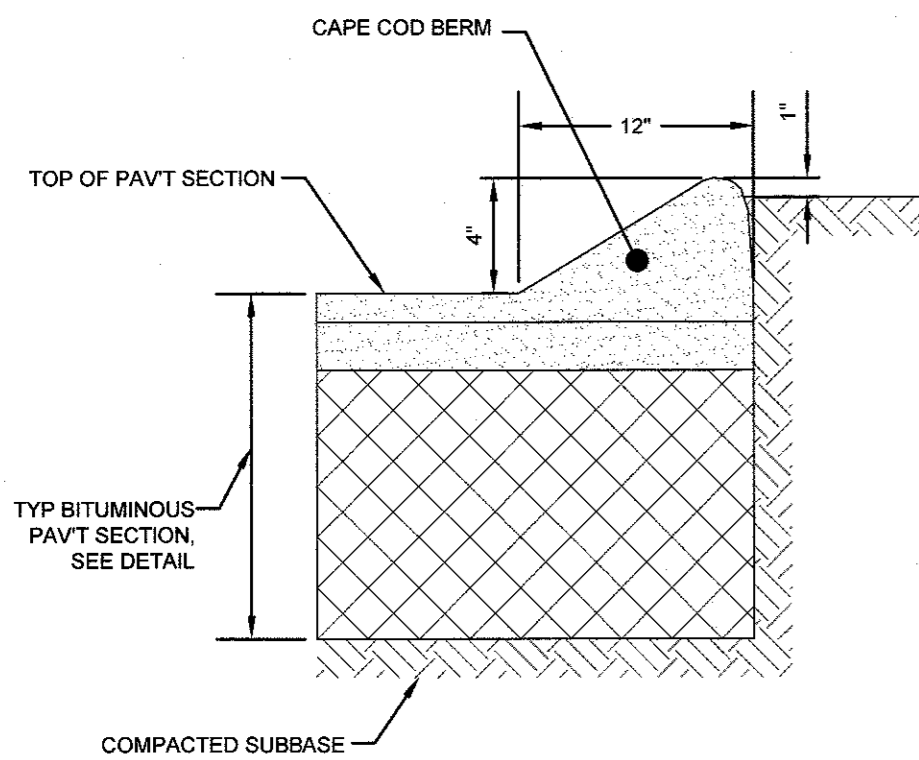
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SCALE: NOT TO SCALE



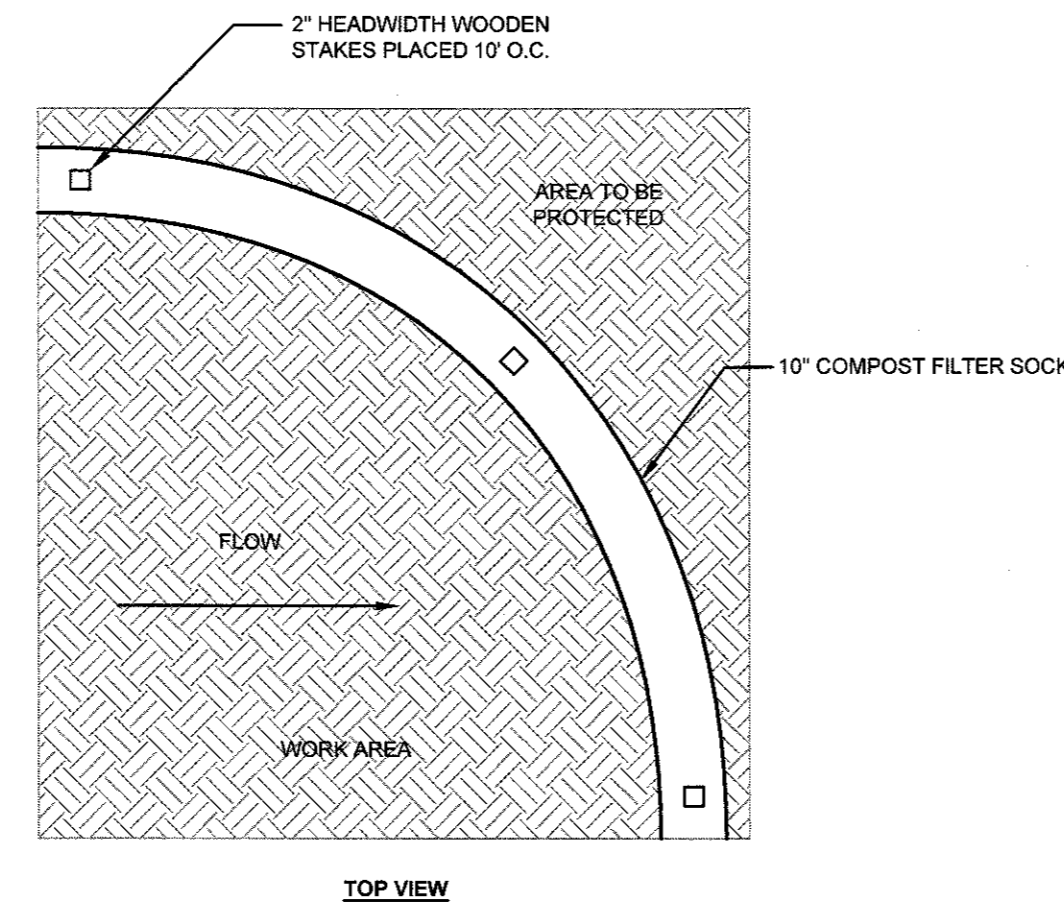
SECTION VIEW



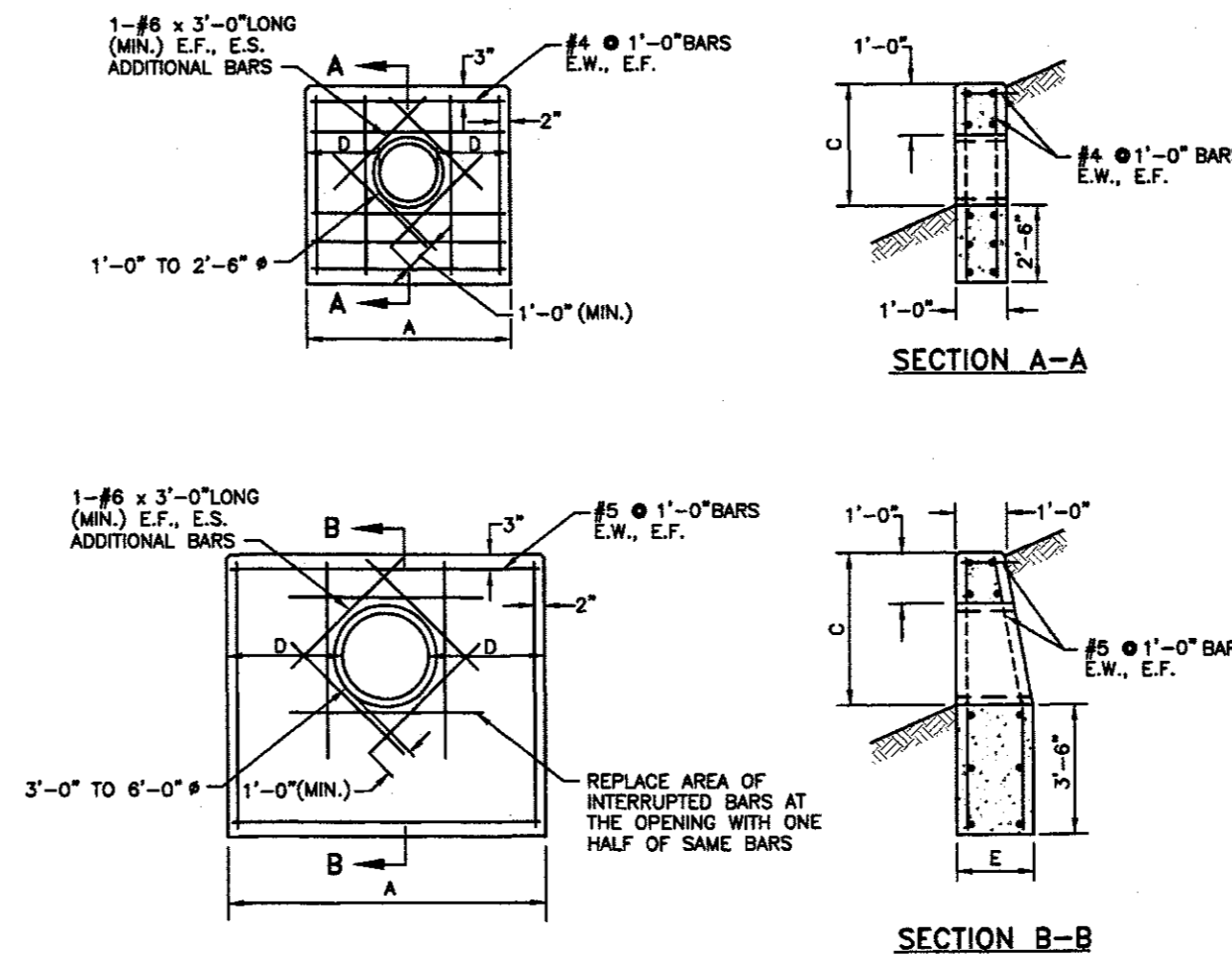
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TYPICAL CAPE COD BERM
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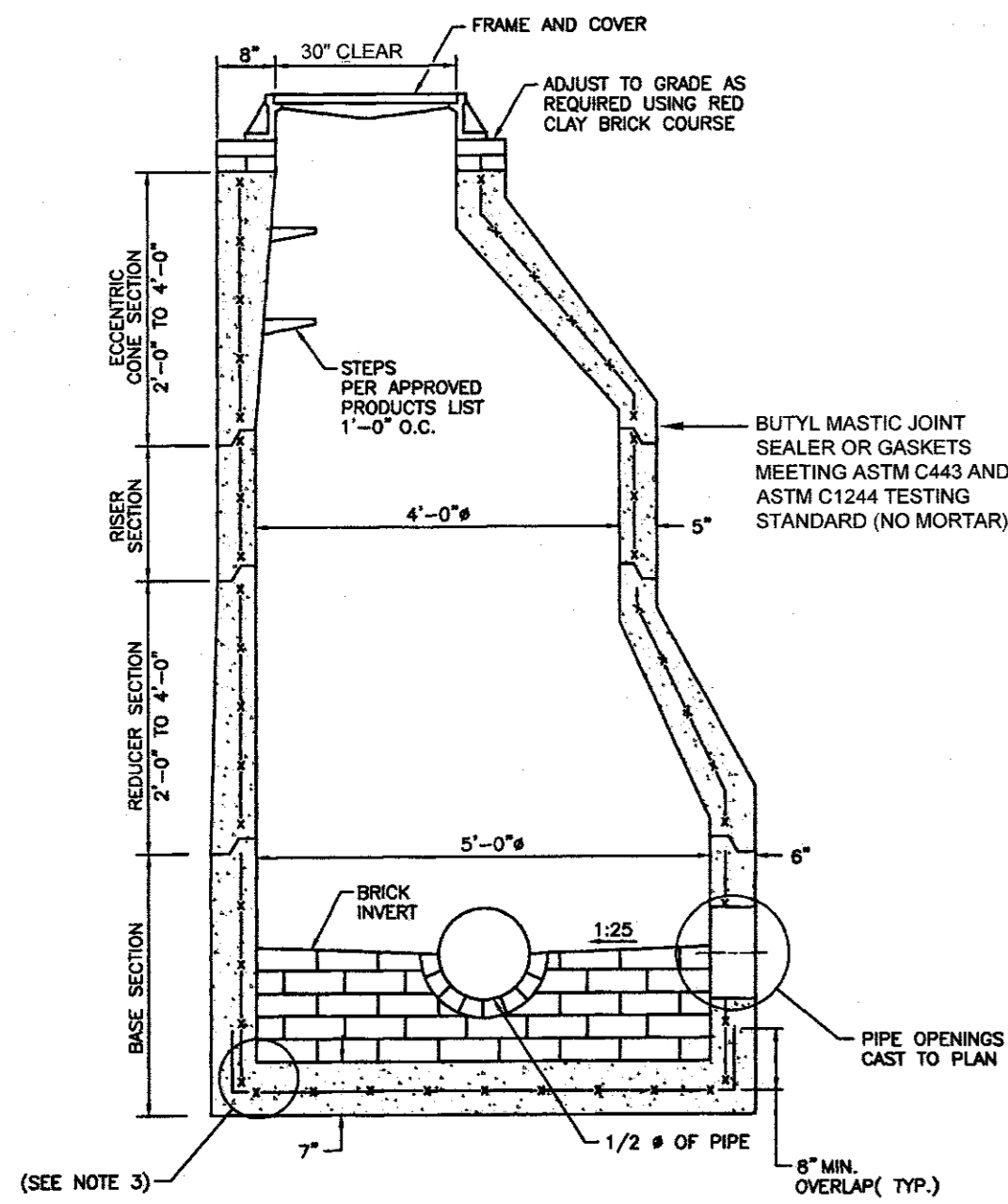
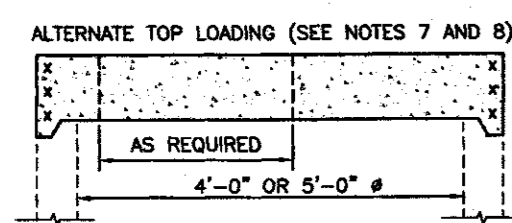


10" COMPOST FILTER SOCK DETAIL
SCALE: NOT TO SCALE



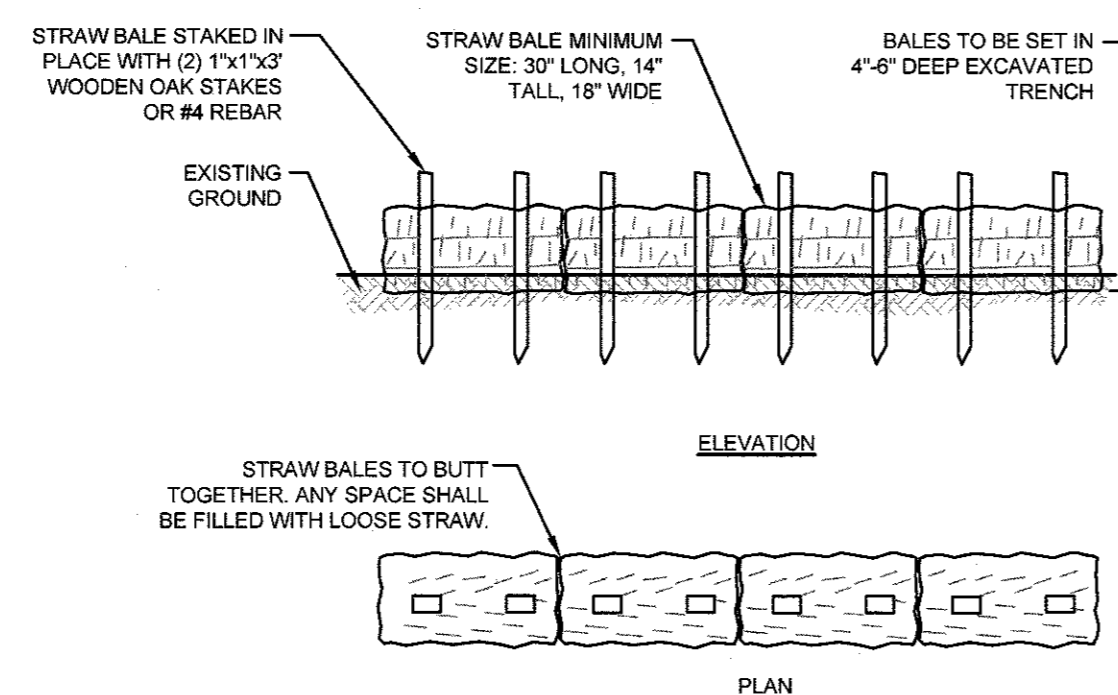
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 709 OF THE R.I. STANDARD SPECIFICATIONS.
2. 3/4" CHAMFER ON ALL EXPOSED EDGES.
3. 1'-0" COMPACTED GRAVEL UNDER HEADWALL.
4. ALL REINFORCING BARS SHALL BE EPOXY COATED.

CONCRETE HEADWALL (RIDOT 2.1.0)
SCALE: NOT TO SCALE



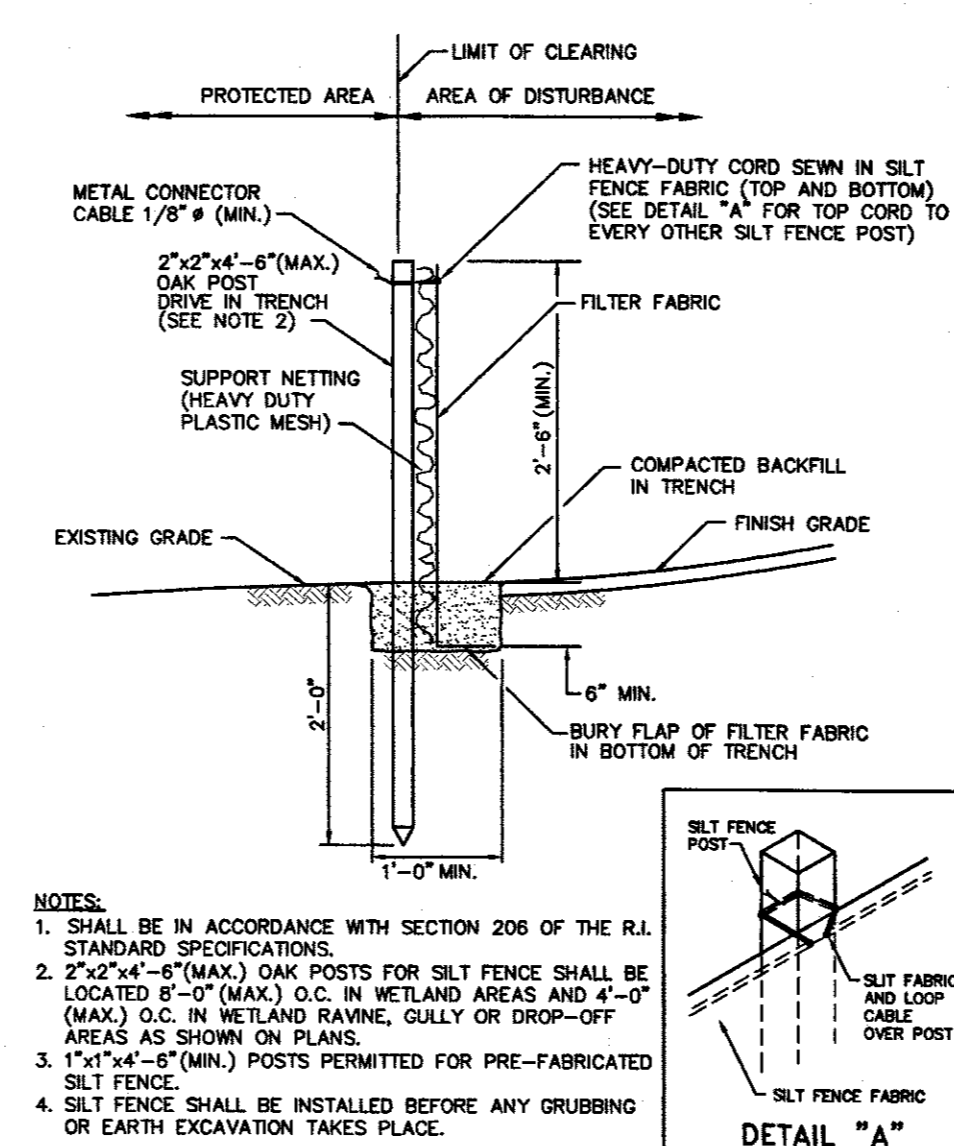
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
2. CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.15 SQ. IN./LIN. FT. MINIMUM.
3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
4. ONE POUR MONOLITHIC BASE SECTION.
5. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
6. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
7. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.0).
8. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
9. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST CONCRETE SEWER MANHOLE
SCALE: NOT TO SCALE



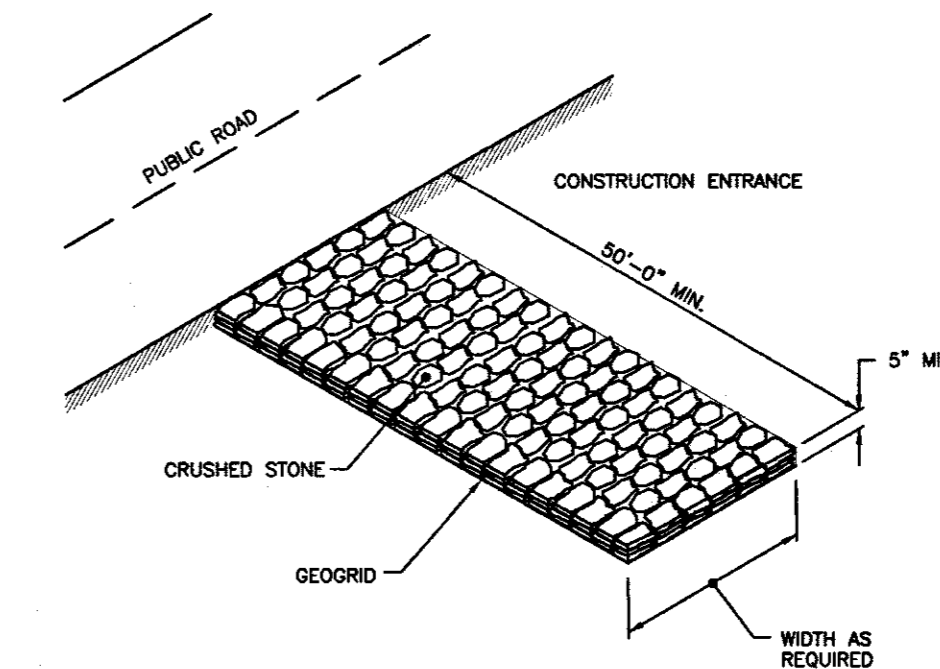
NOTES:
1. BALE WEIGHT SHALL NOT BE LESS THAN 50 LBS AND SHALL BE BOUND WITH NO LESS THAN TWO STRINGS OR WIRES CONTAINING A MINIMUM OF FIVE (5) CUBIC FEET OF MATERIAL. MINIMUM DIMENSIONS SHOWN IN DETAIL.
2. STRAW BALES SHALL BE CERTIFIED AS BEING NOXIOUS WEED-FREE BALES. TO BE "CERTIFIED" MEANS THAT THE PRODUCT IS FREE OF ANY NOXIOUS WEEDS.
3. STAKES SHALL BE DRIVEN THROUGH STAKES AT A SLIGHT UPSTREAM ANGLE TO PREVENT BALE FROM OVERTURNING.
4. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES AFTER INSTALLATION.
5. MATERIAL EXCAVATED FROM TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED.

BALED STRAW EROSION CONTROL BARRIER
SCALE: NOT TO SCALE



NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
2. 2"x2"x4"-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 5'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
3. 1"x1"x4"-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

SILT FENCE EROSION CHECK (RIDOT 9.2.0)
SCALE: NOT TO SCALE



STONE CONSTRUCTION ACCESS (RIDOT 9.9.0)
SCALE: NOT TO SCALE

3	RIDOT COMMENTS	08JAN20	
2	RIDOT COMMENTS	26DEC19	
1	REVISED SUBDIVISION	16DEC19	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	AS SHOWN	Date:	12SEP19

Project Title:
A.P. 33 LOT 44
300 PIPPIN ORCHARD ROAD
CRANSTON, RHODE ISLAND

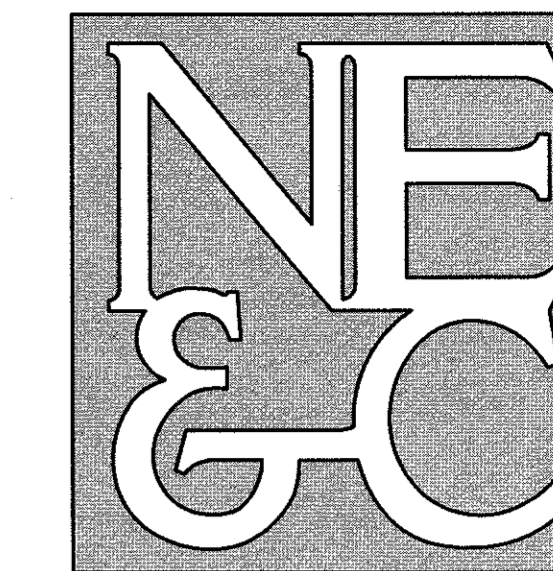
Client/Owner:
ADVANCED REAL ESTATE DEVELOPMENTS, LLC
200 BALD HILL ROAD
WARWICK, RI 02886

Issued for:
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Drawing Title:
SITE DETAILS

Drawing Number:	C-8
Sheet	8 of 9
Project Number:	17121.0
Survey Index:	

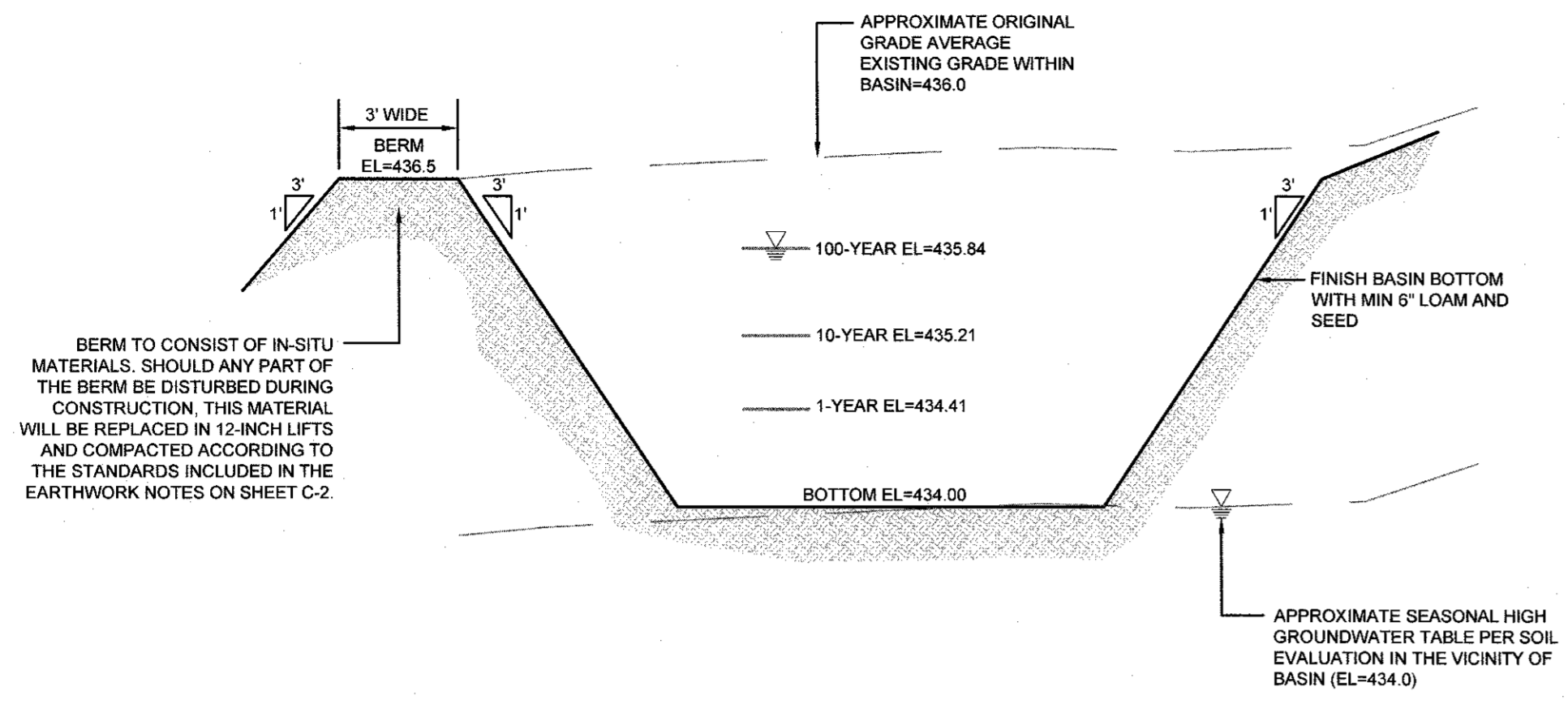
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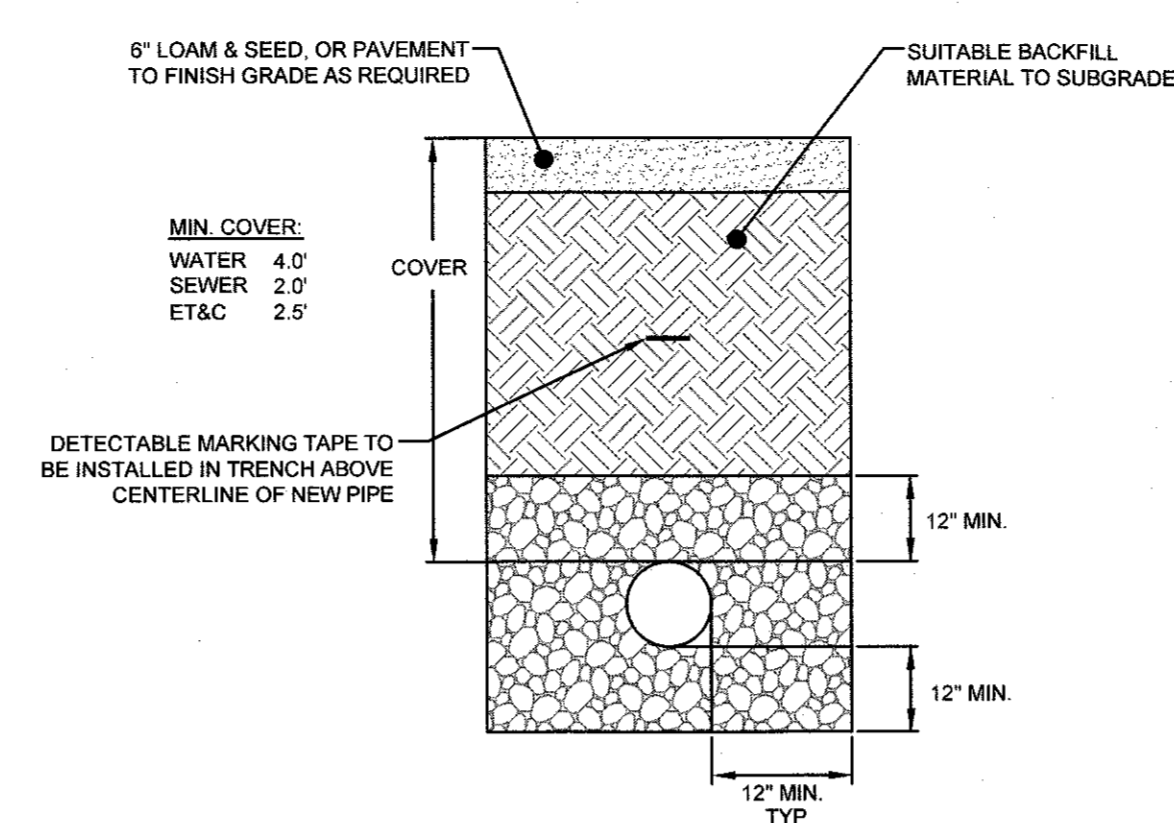
A KNOWLEDGE CORPORATION

6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
 PHONE (401) 849-0810 FAX (401) 846-4169
 WWW.NORTHEASTENGINEERS.COM

SITE/CIVIL
 LAND PLANNING
 WATERFRONT
 SURVEYING
 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL

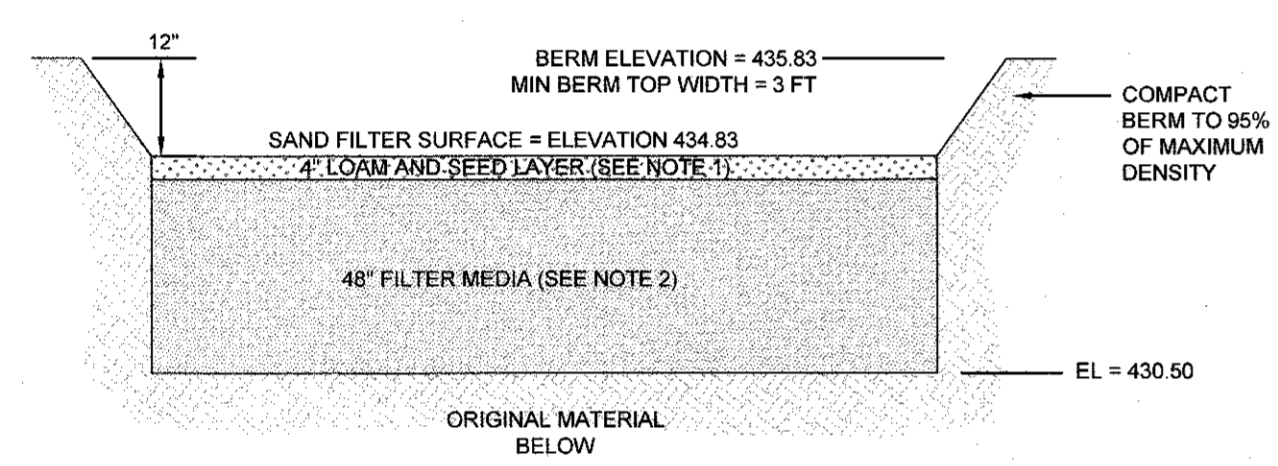


DETENTION BASIN SECTION
 SCALE: NOT TO SCALE



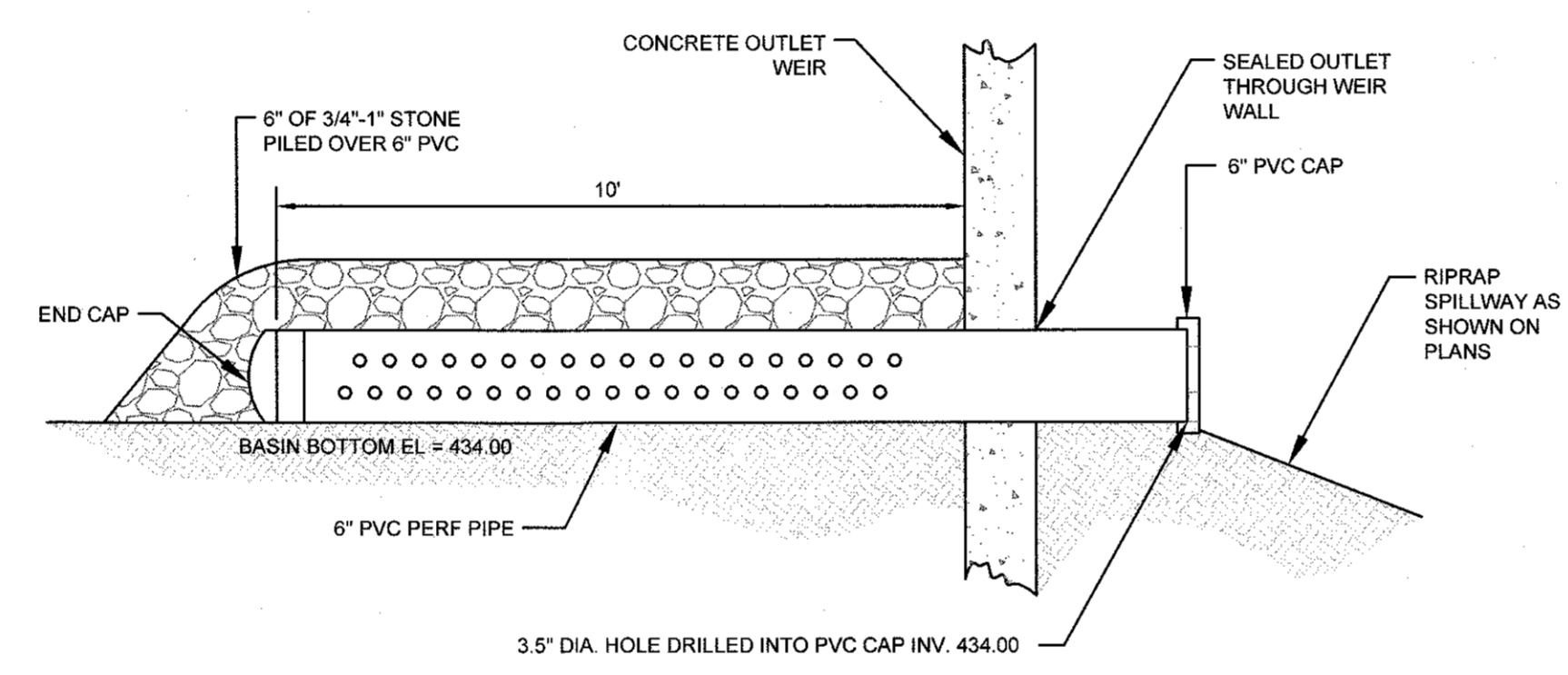
UTILITY TRENCH DETAIL
 SCALE: NOT TO SCALE

- TRENCH NOTES:**
1. UNSUITABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
 2. TRENCH PROTECTION SHALL BE REQUIRED IN ACCORDANCE WITH OSHA REGULATIONS, AND AS OTHERWISE REQUIRED TO PROTECT UTILITIES, ROADWAYS, AND ADJACENT STRUCTURES.
 3. SEWER AND DRAIN PIPES SHALL BE LAID BEGINNING AT THE DOWNSTREAM END OF THE PIPE LINE.
 4. ALL GRAVITY PVC SEWER PIPES SHALL BE IPEX RING-TITE SDR 35, OR SIMILAR APPROVED.
 5. ALL DRAIN PIPES SHALL BE ADS N-12 TYPE IB (SOILTIGHT) UNLESS OTHERWISE INDICATED.
 6. ALL SEWER PIPE AND GASKETS SHALL CONFORM TO ASTM 3034 AND ASTM F679.
 7. BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT WHEN INSTALLED UNDER LANDSCAPED AREAS ONLY. INSTALLATIONS UNDER PAVEMENT REQUIRE BACKFILL MATERIAL TO BE PLACED IN LAYERS NOT TO EXCEED 6" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY (AASHTO T180). SUITABLE BACKFILL SHALL BE FREE OF LOAM, CLAY, ORGANIC MATTER AND PARTICLES LARGER THAN 2 INCHES IN DIAMETER.
 8. SEWER AND DRAINAGE PIPE TRENCHES SHALL BE BEDDED WITH CRUSHED STONE OR SCREENED GRAVEL. THESE MATERIALS MUST CONFORM TO RIDOT STANDARD M.01.09 TYPE II MATERIAL.
 9. WATER PIPE TRENCHES MUST BE BEDDED WITH SAND CONTAINING NO PARTICLES LARGER THAN 3/8". THIS MATERIAL MUST CONFORM TO AASHTO M8 REQUIREMENTS.
 10. PUBLIC UTILITY INSTALLATIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE CITY OF CRANSTON PUBLIC WORKS DEPARTMENT.
 11. WHEN TRENCH EXCAVATION IS ADJACENT TO OR UNDER EXISTING STRUCTURES OR FACILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SHEETING AND BRACING THE EXCAVATION AND STABILIZING THE EXISTING GROUND TO RENDER IT SAFE AND SECURE FROM POSSIBLE SLIDES, CAVE-INS AND SETTLEMENT AND FOR PROPERLY SUPPORTING EXISTING STRUCTURES AND FACILITIES WITH BEAMS, STRUTS OR UNDERPINNING TO FULLY PROTECT THEM FROM DAMAGE.

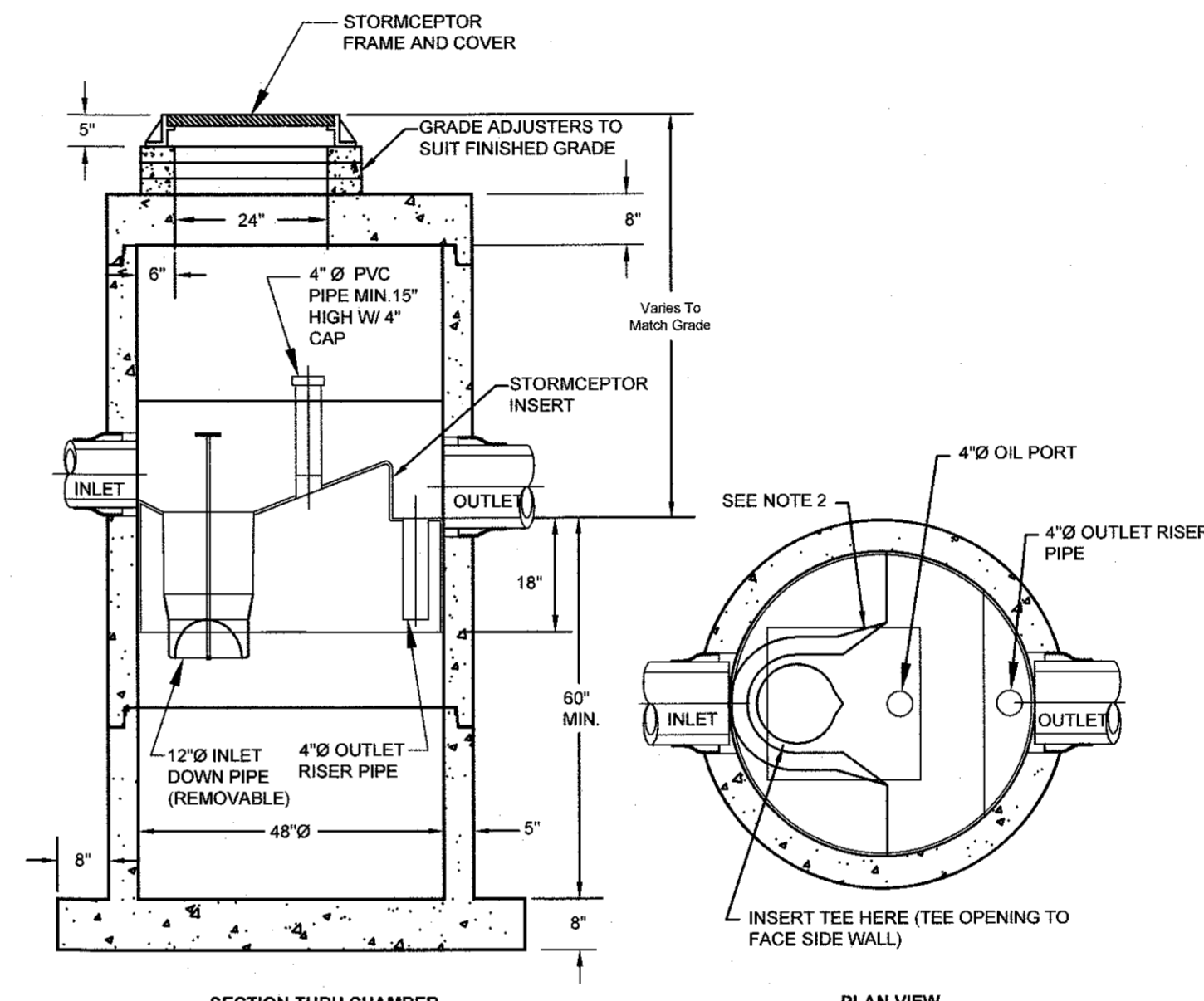


- SAND FILTER NOTES:**
1. SAND FILTER SHALL BE PLANTED WITH NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.
 2. SAND FILTER SAND TO BE CLEAN AASHTO M-6 OR ASTM C-33 CONCRETE SAND (0.075 TO 0.047). SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATE OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO ROCK DUST CAN BE USED AS SAND.

SAND FILTER CROSS SECTION
 SCALE: NOT TO SCALE

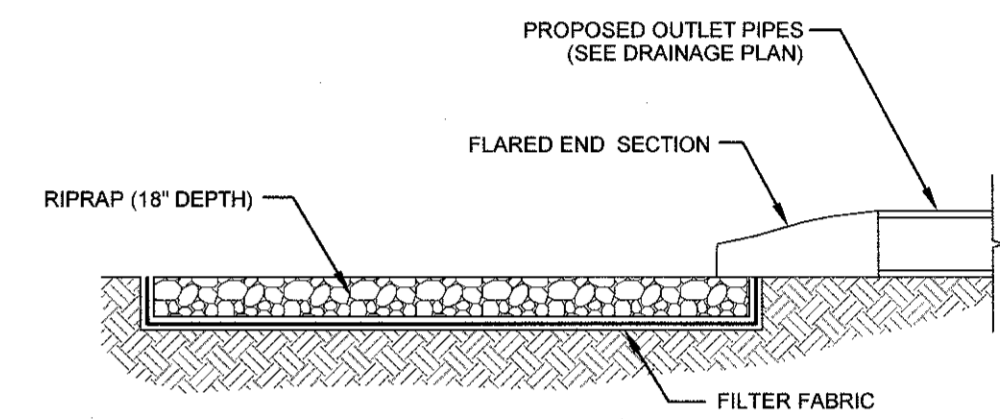


DETENTION BASIN LOW FLOW OUTLET PIPE DETAIL
 SCALE: NOT TO SCALE

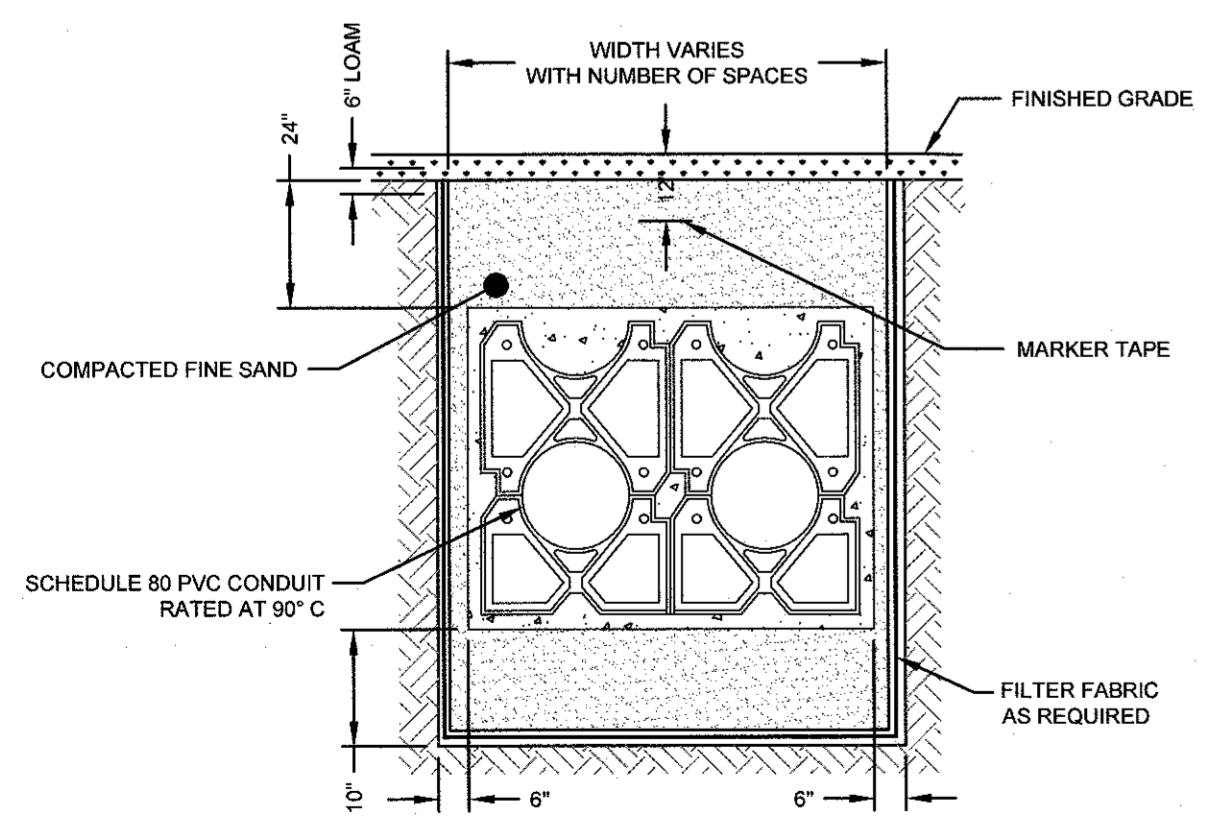


- NOTES:**
1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE INLET DROP PIPE AND THE OIL PORT.
 3. THE STORMCEPTER SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181, #6026765, #6371690.

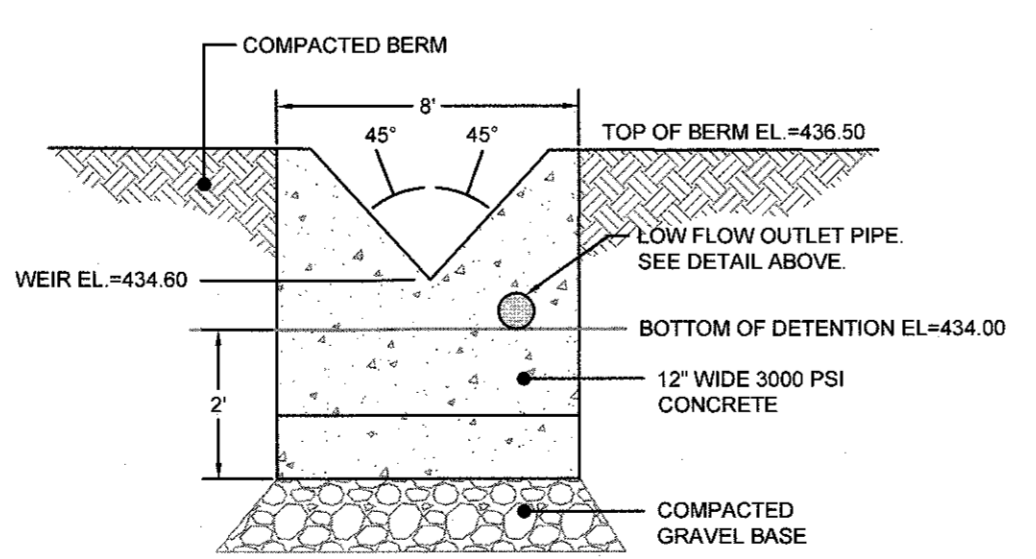
STC 450i PRECAST CONCRETE STORMCEPTER
 (450 U.S. GALLON CAPACITY)
 SCALE: NOT TO SCALE



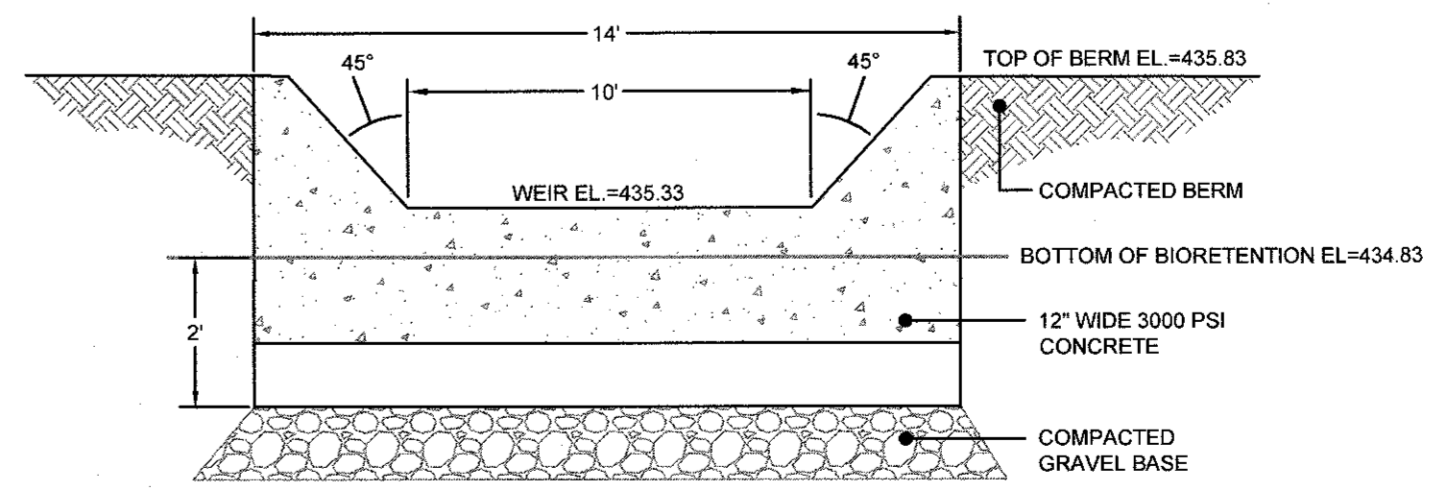
DRAIN INLET FLARED END SECTION
 SCALE: NOT TO SCALE



CONDUIT TRENCH CROSS SECTION
 SCALE: NOT TO SCALE



DETENTION OUTLET WEIR DETAIL
 SCALE: NOT TO SCALE



BIORETENTION OUTLET WEIR DETAIL
 SCALE: NOT TO SCALE

2	RIDEM COMMENTS	10FEB20	
1	REVISED SUBDIVISION	16DEC19	
No.	Revision	Date	App.
Designed By:	Drawn by: JUR	Checked by: GES	
Scale:	AS SHOWN	Date:	12SEP19

Project Title:
A.P. 33 LOT 44
300 PIPPIN ORCHARD ROAD
CRANSTON, RHODE ISLAND

Client/Owner:
ADVANCED REAL ESTATE DEVELOPMENTS, LLC
 200 BALD HILL ROAD
 WARWICK, RI 02886

Issued for:
PERMITTING

Drawing Title:
SITE DETAILS

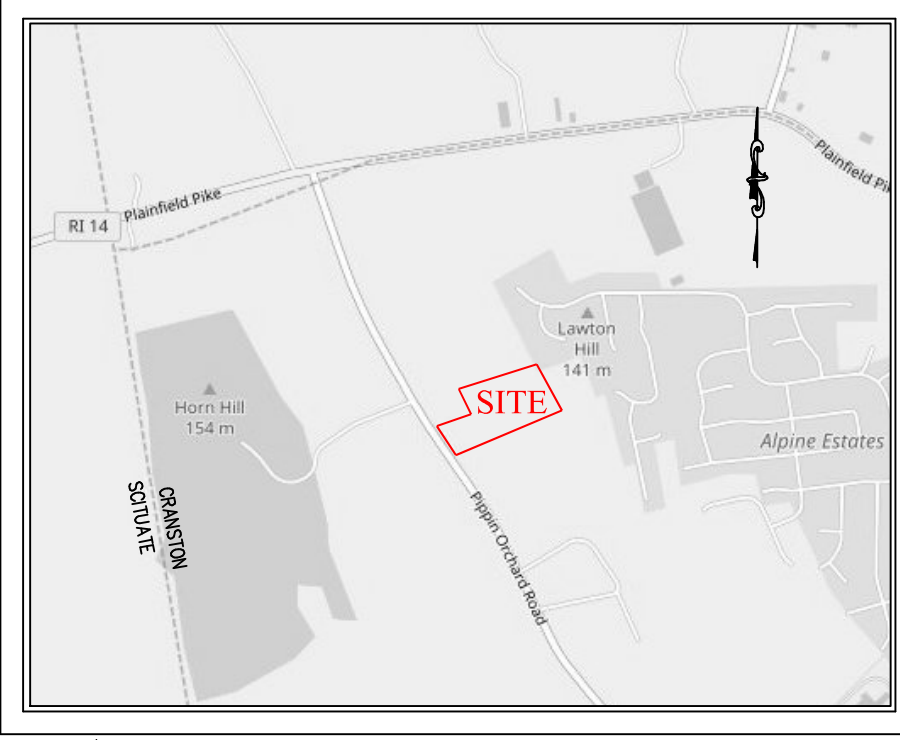
Drawing Number:
C-9

Sheet **9** of **9**

Project Number:
17121.0

Survey Index:
 -

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LEGEND

	PROPERTY LINE		CB	CATCH BASIN
	TREE LINE		POLE #1	UTILITY POLE
	SUBDIVISION LINE		POLE	STREET SIGN
	STONE WALL		SMH	SEWER MANHOLE
	RE-BAR OR IRON PIPE		DMH	DRAIN MANHOLE
	GRANITE OR CONCRETE BOUND		EMH	ELECT MANHOLE
	FENCE		TMH	TELEPHONE MANHOLE
	EXISTING CONTOURS		OU	OVERHEAD UTILITIES
	SPOT ELEVATION		TREE	TREE
	POINT OF APPLICATION		PINE TREE	PINE TREE
			A-1	WETLAND FLAG

NOTE: SYMBOLS ARE TYPICAL AND SOME MAY NOT BE FOUND ON THIS PLAN.

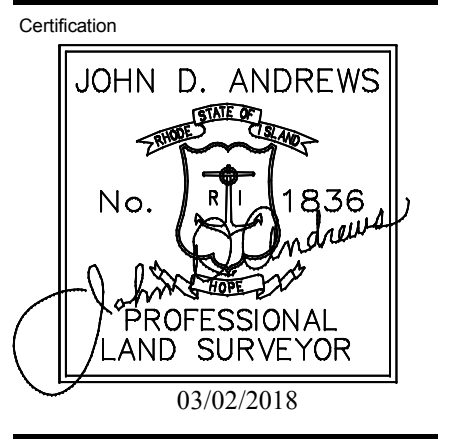
CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY	MEASUREMENT / ACCURACY SPECIFICATIONS
COMPREHENSIVE BOUNDARY SURVEY	I
OTHER TYPE OF SURVEY	III
DATA ACCUMULATION SURVEY	T-2
TOPOGRAPHIC SURVEY	

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PROPERTY AND TOPOGRAPHIC SURVEY FOR PLANNING.

By: *John D. Andrews* 1836
JOHN D. ANDREWS, P.L.S. REG. NO. 03/02/2018 DATE
DOUGLAS DESIGN GROUP (LS.000A354-COA)



OWNER:

Project

COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY
PREPARED FOR
300 PIPPIN ORCHARD ROAD
A.P. 33, LOT 44
CRANSTON
RHODE ISLAND
DATE: FEBRUARY 20, 2018
SCALE 1" = 30'

Zoning A-80

MINIMUM LOT AREA - 80,000 SQ. FT.
MINIMUM LOT WIDTH - 200'
FRONT YARD SET-BACK - 40'
REAR YARD SET-BACK - 100'
SIDE YARD SET-BACK - 20'
MAXIMUM LOT COVERAGE - 10%
MAXIMUM BUILDING HEIGHT - 35'

Douglas
LAND SURVEYING • CONSULTING
BAY TOWER - LOWER LEVEL - SUITE C
101 PLAIN STREET
PROVIDENCE, RHODE ISLAND 02903
508-821-8728 774-284-0085
douglasdesigngroup@gmail.com

Drawn by BSA
Checked by JDA

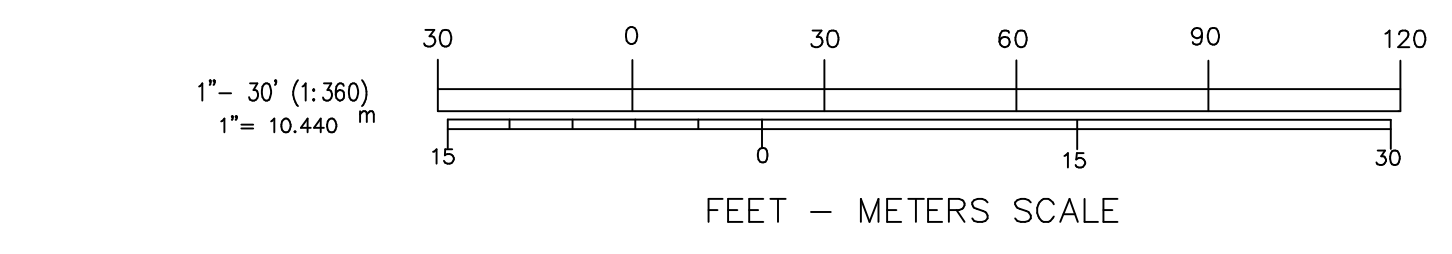
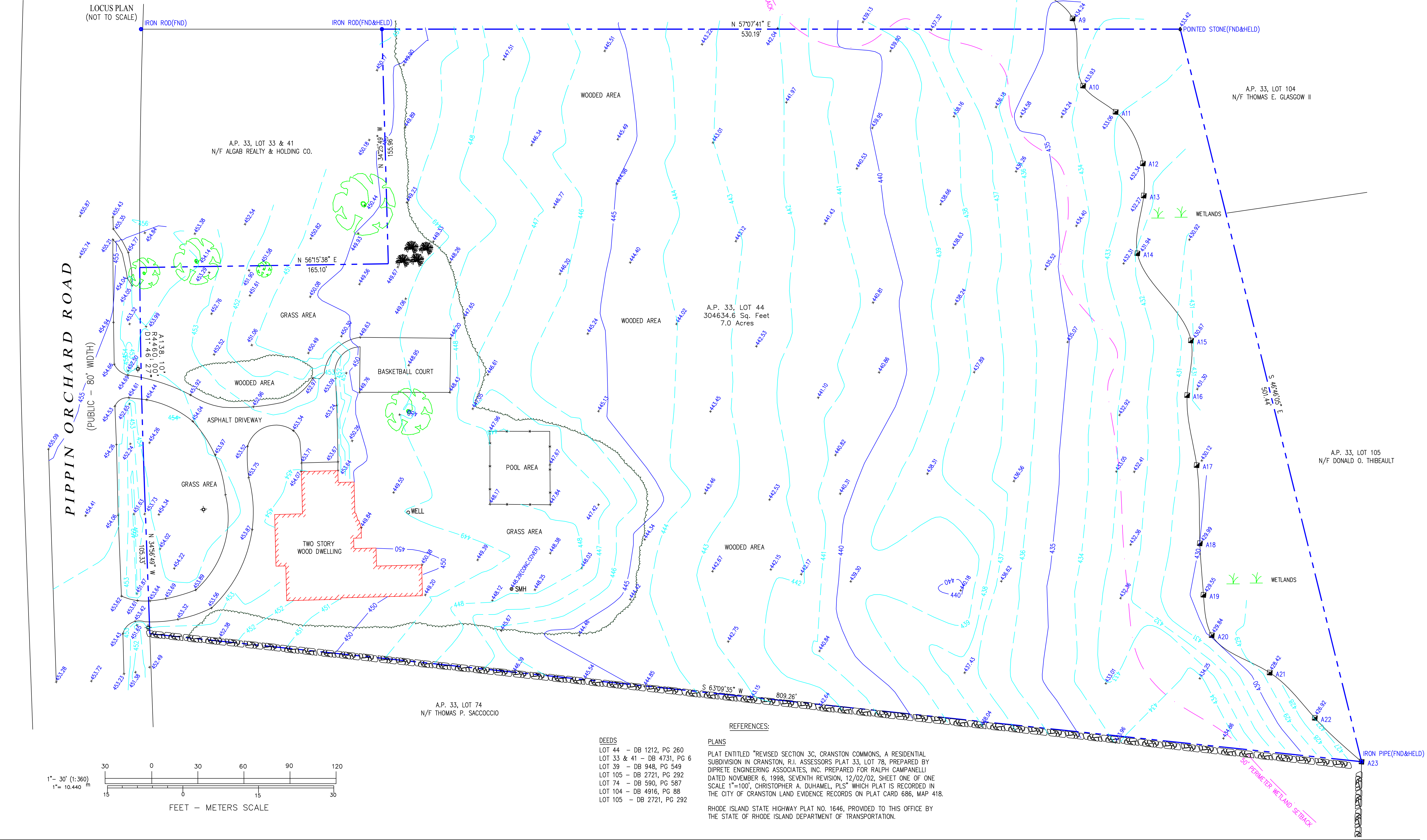
Sheet Contents

SITE SURVEY

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Project Number 01.18.1400
Drawing No.

Sheet 1 of 1



DEEDS

LOT 44 - DB 1212, PG 260
LOT 33 & 41 - DB 4731, PG 6
LOT 39 - DB 948, PG 549
LOT 105 - DB 2721, PG 292
LOT 74 - DB 590, PG 587
LOT 104 - DB 4916, PG 88
LOT 105 - DB 2721, PG 292

REFERENCES:

PLANS

PLAT ENTITLED "REVISED SECTION 3C, CRANSTON COMMONS, A RESIDENTIAL SUBDIVISION IN CRANSTON, R.I. ASSESSORS PLAT 33, LOT 78, PREPARED BY DIPRETE ENGINEERING ASSOCIATES, INC. PREPARED FOR RALPH CAMPANELLI DATED NOVEMBER 6, 1998, SEVENTH REVISION, 12/02/02, SHEET ONE OF ONE SCALE 1"=100", CHRISTOPHER A. DUHAMEL, PLS" WHICH PLAT IS RECORDED IN THE CITY OF CRANSTON LAND EVIDENCE RECORDS ON PLAT CARD 686, MAP 418.

RHODE ISLAND STATE HIGHWAY PLAT NO. 1646, PROVIDED TO THIS OFFICE BY THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION.